

**MINUTES OF THE MEETING OF THE MADISON COUNTY
PLANNING AND ZONING COMMISSION HELD AND CONDUCTED ON
THURSDAY, THE 17th DAY OF MAY, 2018 AT 9:00 A.M. AT THE
MADISON COUNTY COMPLEX BUILDING**

BE IT REMEMBERED that a meeting of the Madison County Planning and Zoning Commission was duly called, held and conducted on Thursday, the 17th day of May, 2018 at 9:00 a.m. in the Board Room of the Madison County Chancery and Administrative Building.

Present: Larry Miller
 Walter McKay
 Dr. Bill Howard
 Rev. Henry Brown

Scott Weeks, Planning and Zoning Administrator

Absent: Bill Billingsley

The meeting was opened with prayer by Commissioner Brown, and those present participated in pledging allegiance to our flag.

There first came on for consideration the minutes of the April 12, 2018 meeting of the Commission. Upon motion by Commissioner Howard to approve the minutes, seconded by Commissioner Miller, with all voting “aye,” the motion to approve the April 12, 2018 minutes passed.

There next came on for consideration to open the public hearing for various matters. Upon motion by Commissioner McKay to open the public hearing, seconded by Commissioner Miller, with all voting “aye,” the motion to open the public hearing passed.

There next came on for public hearing the petition of Terra Holdings LLC for a variance on the setback requirements for the property. This property is located on the corner of Dees Drive and Gluckstadt Rd. Paul Ingram, architect, appeared on behalf of the variance petition. He explained the nature of the variance request and the series of acquisitions that had occurred over the years by the County and MDOT. Because of these takings, they are requesting an 8.3 foot variance to the required setback per the ordinances. Commissioner Miller inquired if this had been reviewed and approved by the County Engineer and Zoning Administrator Weeks stated that it had been.

Those in opposition were asked to appear next. Kerry Minninger, a Gluckstadt resident, appeared before the Commission. He stated that he was a Gluckstadt resident and he can see this location from his property line. He is opposed to this request because he didn’t think they had met their burden in proving a variance. He also expressed concern about the future widening of Gluckstadt Rd. and how this business may affect such plan. He also explained that he was involved in the Gluckstadt incorporation and there was vast opposition amongst the community to this request.

He noted the number of c-stores already located in this community and stated that too much competition could be detrimental. He also stated he was concerned about the increase in traffic this will cause which, because of the increase of businesses already approved, is a high traffic/safety concern. He encouraged the Commission to look at what's best for the community and to deny the request. Commissioner Walter McKay spoke next and stated that as a Gluckstadt resident, he was aware of many complaints about this proposed request. He noted that this was a small lot and not a good fit for this type of business. He also expressed concerns about how this would negatively affect traffic and safety concerns in this area. Upon Motion by Commissioner Miller to approve the variance pursuant to the multiple takings of the petitioner's land and the hardship it created, seconded by Commissioner Brown, with Commissioners Miller, Brown and Howard voting "aye" and Commissioner McKay voting "nay," the motion to approve the variance passed.

There next came on for consideration to close the public hearing. Upon Motion by Commissioner McKay to close the public hearing, seconded by Commissioner Miller, with all voting "aye," the motion to close the public hearing passed.

There next came on for consideration the site plan of Ricks Pro Truck for a new business located on Calhoun Station Parkway and Autobahn Loop. Todd Sandridge appeared on behalf of the site plan. Commissioner McKay inquired about the front elevation, certain building materials and the lighting. Mr. Sandridge stated that the materials being implemented were improved from those being used by other businesses in this area. He noted the landscaping added to improve the overall look of the business. He stated that he was willing to work with the Commission on the appearance as he wanted it to be a well made, well received building. He agreed to look into various options for the material for the North elevation of the building. Upon Motion by Commissioner Howard to approve the site plan conditional upon the petitioner presenting options for the North elevation to Zoning Administrator Weeks for him to present to the Board of Supervisors, seconded by Commissioner Miller, with all voting "aye," the motion to approve the site plan passed.

There next came on for discussion the setting of the June, 2018 meeting/public hearing. The second Thursday is June 14. Upon Motion by Commissioner Miller to set the meeting/hearing for June 14, 2018, seconded by Commissioner Howard, with all voting "aye," the motion to set the meeting date passed.

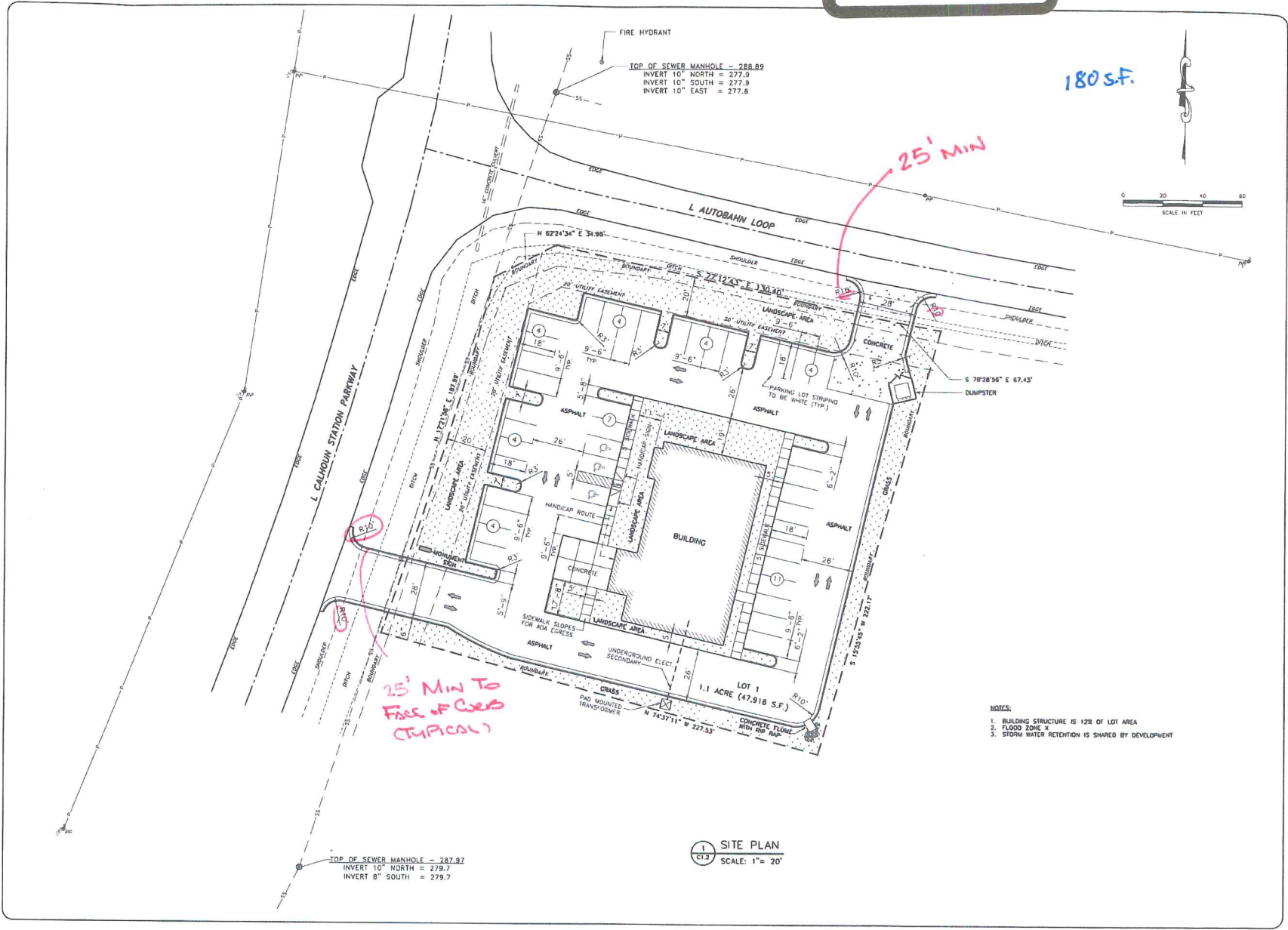
With there being no further business, the May 17, 2018 meeting was adjourned.

Date

6-14-18

Walter McKay
(Chairman)

EXHIBIT
A



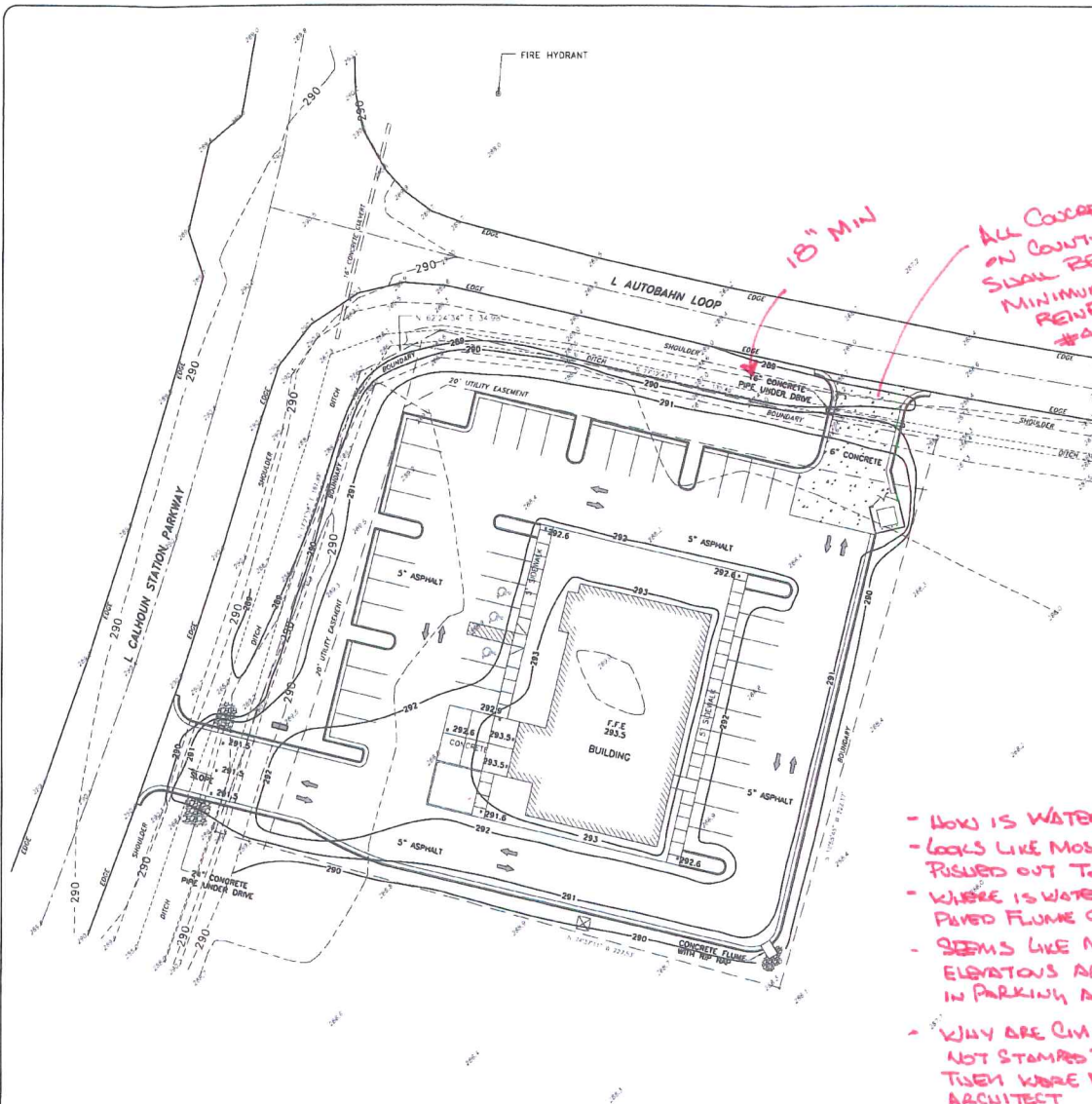
ST. DOMINIC'S FAMILY CLINIC
 CALHOUN STATION PARKWAY
 MADISON, MS 39110

FOUNTAIN CONSTRUCTION CO., INC.
 601.374.1152
 VOICE: 601.374.1152
 FAX: 601.374.1300

DRAWN BY: AW
 DATE: 2.18.18
 REVISED DATE:

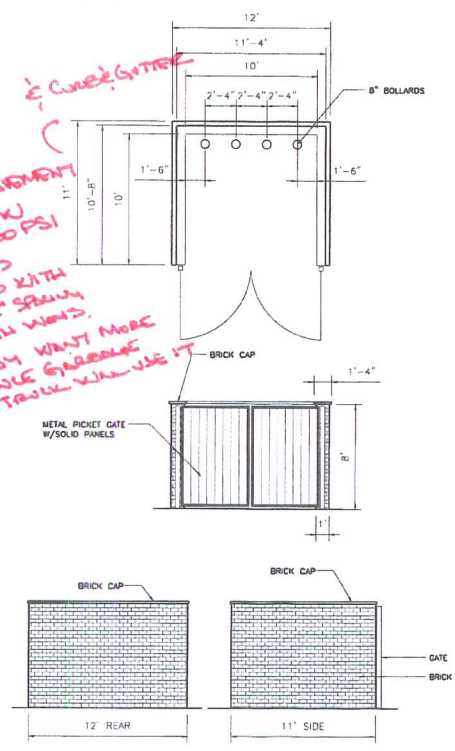
Melanie Holmes, Architect
 101 Erika Lane
 Wayne, PA 19087

SHEET
 C1.2

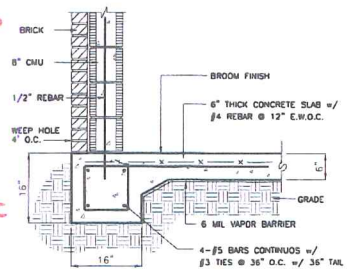


1 GRADING PLAN
SCALE: 1" = 20'

- HOW IS WATER LEAVING SITE?
- LOOKS LIKE MOST IS BEING PAVED OUT TO PARKING ROADS
- WHERE IS WATER EXITING PAVED FLUME GOING?
- SEEMS LIKE MORE SPOT ELEVATIONS ARE NEEDED IN PARKING AREAS
- WHY ARE CIVIL PLANS NOT STAMPED? LOOKS LIKE THOSE WERE DONE BY ARCHITECT



2 DUMPSTER ENCLOSURE
SCALE: 1" = 1/4"



3 DUMPSTER WALL SECTION
SCALE: 1" = 1'

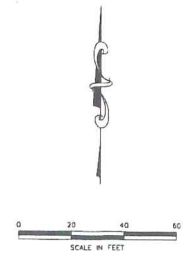
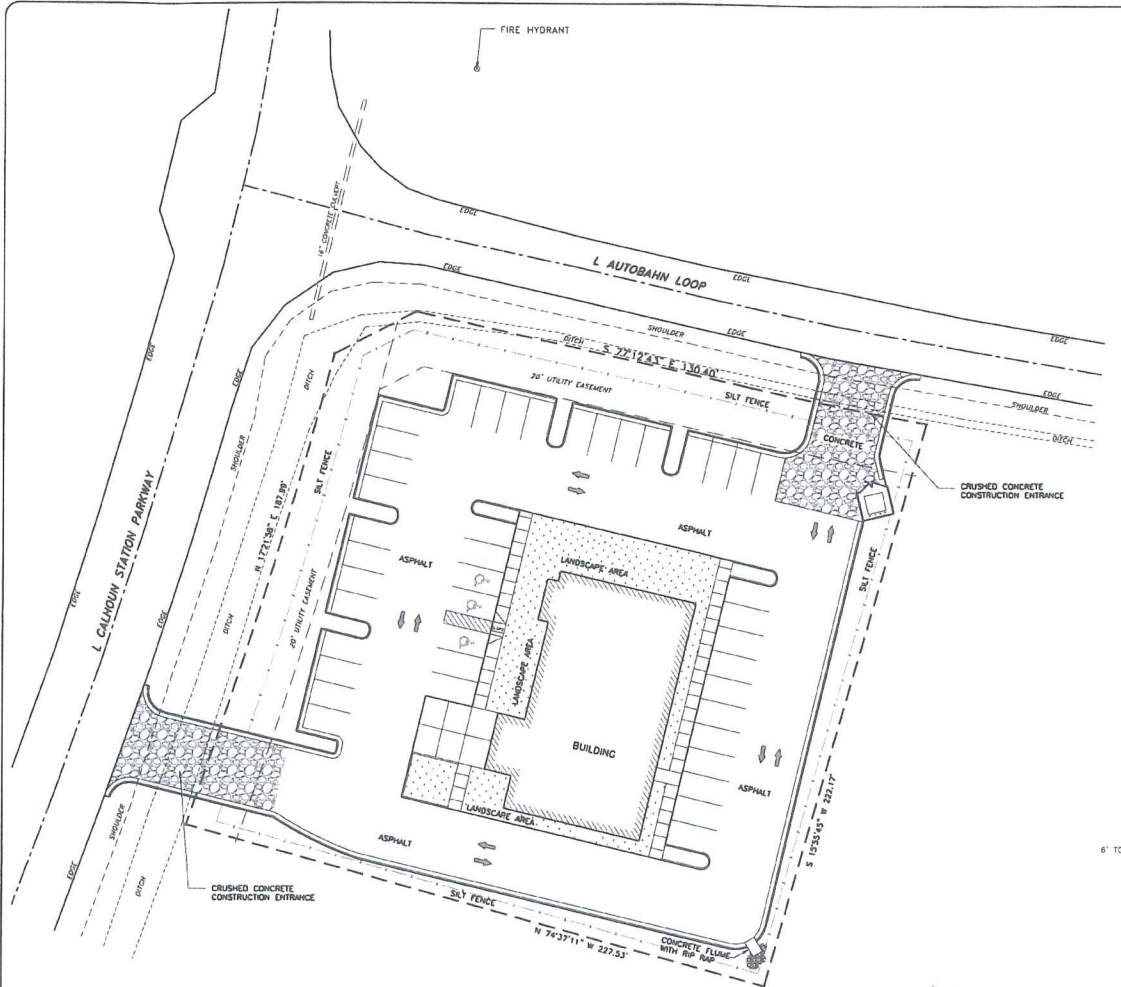
ST. DOMINIC'S FAMILY CLINIC
CALHOUN STATION PARKWAY
MADISON, MS 39110

FOUNTAIN CONSTRUCTION CO., INC.
505 FERRY RD. WEST JACKSON, MS. 39209
PHONE: 601.373.4182
FAX: 601.373.6500

DRAWN BY: AW
DATE: 3.13.18
REVISION DATE:

Melanie Holmes, Architect
101 Erika Lane
Wayne, PA 19087

SHEET
C1.3



EROSION CONTROL NOTES:

1. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IMPLEMENTED PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES THAT DISTURBED EXISTING GROUND.
2. CONTRACTOR IS TO EVALUATE ALL STORM WATER MANAGEMENT CONTROLS A MINIMUM OF ONCE PER WEEK AND AFTER RAINFALL EVENTS TO DETERMINE EFFECTIVENESS OF THE EROSION CONTROL MEASURES.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN AND REPAIR ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
4. EFFECTIVE USE OF TEMPORARY MEASURES INCLUDING TEMPORARY SEEDING SHALL BE MADE SO AS TO PREVENT OR MINIMIZE EROSION.
5. CONTRACTOR TO CONTACT MISSISSIPPI ONE CALL AT LEAST 48 HOURS BEFORE IMPROVEMENTS ARE MADE.

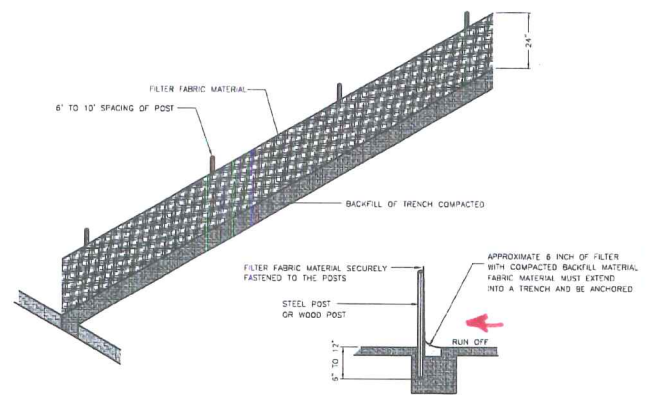
1 EROSION CONTROL
SCALE: 1" = 20'

NOTES:

1. GEOTEXTILE FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL BE FASTENED ADEQUATELY ~~AND~~ ^{WITH} STEEL POSTS SHALL BE 2' IN HEIGHT.
2. ~~WOOD POSTS SHALL BE A MINIMUM OF 6" IN HEIGHT AND 4" OR MORE IN DIAMETER.~~
3. WIRE FENCE SHALL BE FASTENED TO ~~WOODEN POSTS WITH AND LESS THAN 10" OVERLAP.~~ ^{STEEL POSTS WITH AND LESS THAN 10" OVERLAP.}
4. ALLOW A 6" OVERLAP OF FABRIC AT JOINTS.

LEGEND

--- SILT FENCE



2 SILT FENCE
SCALE: 1" = 20'

ST. DOMINIC'S FAMILY CLINIC
CALHOUN STATION PARKWAY
MADISON, MS 39110

FOUNTAIN CONSTRUCTION CO., INC.
5055 HWY. 18 WEST JACKSON, MS. 39208
VOICE: 601.374.6827
FAX: 601.374.6800

DRAWN BY: AW
DATE: 3.13.18
REVISED DATE:
SCALE: 1" = 20'

Melanie Holmes, Architect
101 Erika Lane
Wayne, PA 19087

SHEET
C1.4



PERMIT SET FOR RICKS PRO TRUCK

PROJECT DATA

CODES:		MEANS OF EGRESS:	
BUILDING CODE:	2012 INTERNATIONAL BUILDING CODE	ITEM	CODE REQUIREMENT PROVIDED
MECHANICAL CODE:	2012 INTERNATIONAL MECHANICAL CODE	NUMBER OF EXITS	
PLUMBING CODE:	2012 INTERNATIONAL PLUMBING CODE	F-1 (OCC. >49)	2 PER FLOOR
ELECTRIC CODE:	2008 NATIONAL ELECTRIC CODE	B (OCC. <49)	1 PER FLOOR
GAS CODE:	2012 INTERNATIONAL FUEL GAS CODE	TRAVEL DISTANCE	
FIRE SAFETY:	2012 INTERNATIONAL FIRE CODE	F-1	200 FEET
		B	200 FEET - B
			59 FEET
			55 FEET
		DEAD END CORRIDOR	20 FEET
			NONE
		CORRIDOR WIDTH	44 INCH MINIMUM
			44 INCHES
		WIDTH OF EGRESS DOORS	32 INCH MINIMUM
			36 INCHES MINIMUM
		EGRESS WIDTH	
		F-1	25 INCHES TOTAL
		B	32 INCHES MINIMUM
			96 INCHES TOTAL
			36 INCHES MINIMUM
ALLOWABLE AREA:	CODE PROVISIONS	PLUMBING FIXTURES	
BUILDING CRITERIA		ITEM	CODE REQUIREMENT PROVIDED
OCCUPANCY	GROUP F-1, MODERATE HAZARD FACTORY INDUSTRIAL	NUMBER OF W.C.	
	GROUP B, BUSINESS	B (1 PER 25/50)	1 M + 1 F
OCCUPANT LOAD		F-1 (1 PER 25/50)	2 TOTAL
	F-1		1 M / 1 F PROVIDED
	Shop: 7804/100 = 79		2 PROVIDED
	Warehouse: 2105/500 = 5	NUMBER OF LAV.	
	Business: 4593/100 = 46	B (1 PER 40/80)	1 TOTAL
		F-1 (1 PER 100)	1 TOTAL
TOTAL	131		1 PROVIDED
			EXISTING
TYPE OF CONSTRUCTION	TYPE III B, UNPROTECTED, NONSPRINKLED	NUMBER OF D.F.	
BUILDING HEIGHT	F-1 IS THE MOST RESTRICTIVE	B (1 PER 100)	1 TOTAL
	55' ALLOWED	F-1 (1 PER 400)	1 TOTAL
	31' PROVIDED		FUTURE
NUMBER OF STORIES	2 STORIES ALLOWED		EXISTING
	2 STORY PROVIDED	NUMBER OF S.S. (SERVICE SINKS)	
ALLOWABLE AREA	F-1 IS THE MOST RESTRICTIVE	B	1 TOTAL
	12,000 S.F. PER FLOOR ALLOWED	F-1	1 TOTAL
	WITH FRONTAGE AREA INCREASE		1 PROVIDED
	18,000 S.F. ALLOWED		EXISTING
	15,561 PROVIDED		
FIRE PROTECTION REQUIREMENTS:			
BUILDING ELEMENT	FIRE RATING/ ACCESS OPENING		
FLOORS AND FLOOR/CEILING	0 HOUR		
CORRIDOR ENCLOSURE	0 HOUR/0 MN OPENING		
OCCUPANCY SEPARATION	0 HOUR		
FIRE EXTINGUISHERS:	B OCCUPANCY CLASS A		
	F-1 OCCUPANCY CLASS B		
EXTINGUISHER TYPE	CLASS A - TYPE 2A, TRAVEL DISTANCE 75' MAX		
	CLASS B - TYPE 20B, TRAVEL DISTANCE 50' MAX		

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PROJECT
Ricks Pro Truck

5340 Hall's Mill Rd
Mobile, AL

REVISIONS

DATE 09-27-2017
DRAWN BY SB
CHECKED BY SB

SHEET TITLE

SHEET NO.
C1.1



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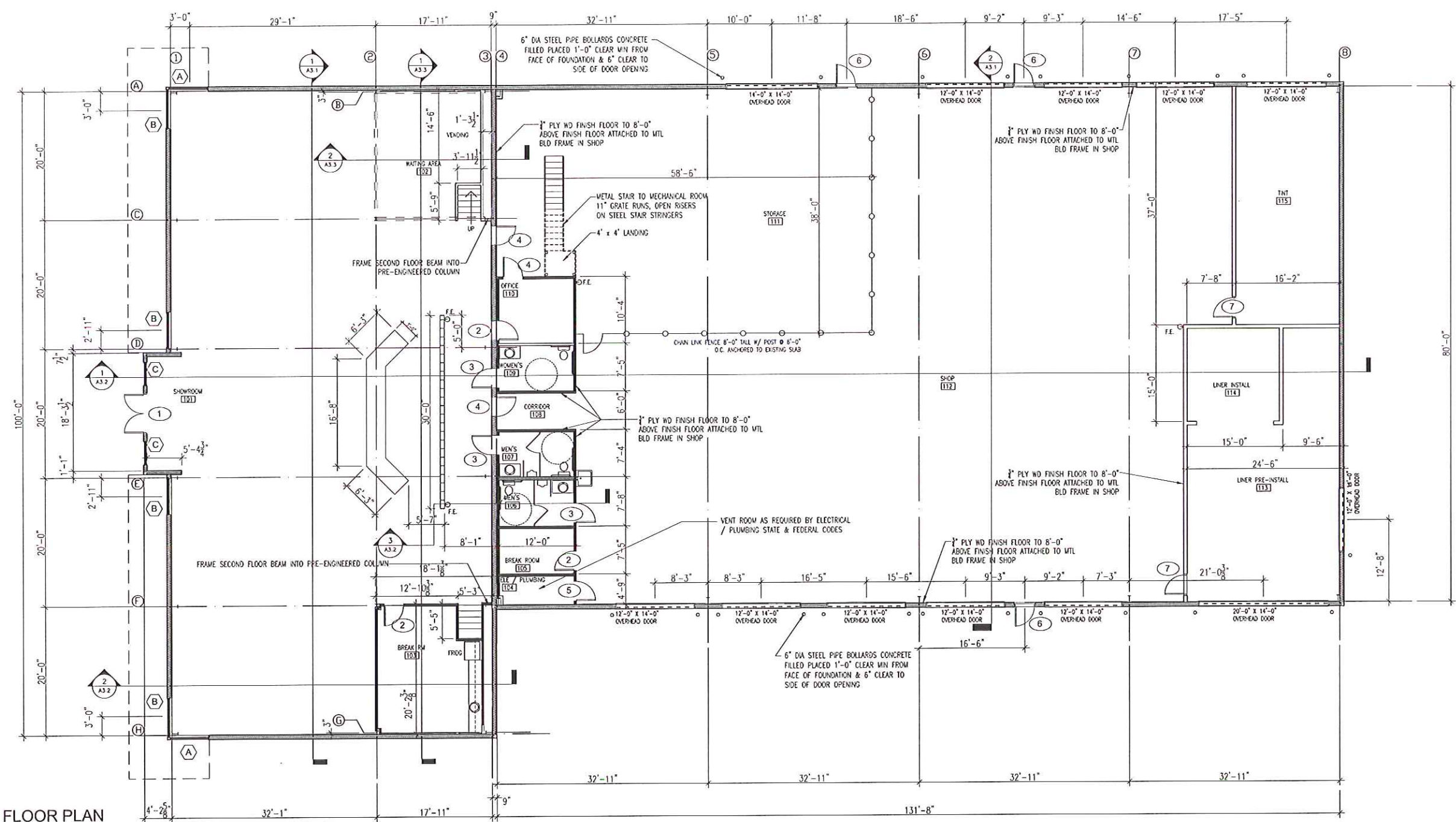
PROJECT
Ricks Pro Truck
 5340 Hall's Mill Rd
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1 FLOOR PLAN
 SCALE 1/4" = 1'-0"

FLOOR PLAN NOTES

- FOUNDATION BY OTHERS - DESIGN BASED ON AN EVALUATION OF THE STRUCTURE & OF THE SITE BY LICENSED PROFESSIONALS.
- METAL BUILDING BY OTHERS.
- BATT INSULATION FULL HEIGHT OF WALL IN ALL EXTERIOR WALLS & AROUND BATHROOMS.
- ALL PLUMBING FIXTURES AS SELECTED BY OWNER.
- CONTRACTOR SHALL CONSULT OWNER FOR ALL INTERIOR AND EXTERIOR MATERIALS, FINISHES AND COLORS.
- EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF METAL BUILDING FRAME, UNLESS NOTED OTHERWISE.
- INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
- INTERIOR DOORS LOCATED 4" FROM WALL, HINGE SIDE UNLESS NOTED OTHERWISE.
- WEIGHT ROOM: INSIDE FACE OF EXTERIOR WALLS SHALL BE METAL BUILDING FRAMING & VINYL FACE INSULATION.
- OFFICES, BATHROOM / SHOWERS, FOYER & STOREROOM: INTERIOR FACE OF EXTERIOR WALLS SHALL BE SHEET ROCK ON STUDS SET INTO METAL BUILDING FRAME.
- INTERIOR WALLS SHALL BE SHEET ROCK ON STUDS @ 16" O.C. TYPICAL.
- INDIVIDUAL BATHROOMS SHALL MEET ALL ADA REQUIREMENTS.
- EXTERIOR DOORS & WINDOWS INSTALLED WITH PROPER METAL BUILDING FLASHING TO ENSURE NO WATER PENETRATION.

- SIZE OF MECHANICAL ROOM MAY CHANGE DEPENDING ON HVAC DESIGN BY LICENSED PROFESSIONAL.
- ALL DOORS LABELED "EXIT" SHALL MEET ALL REQUIREMENTS SET FORTH BY THE 2012 IBC FOR EXIT DOORS, INCLUDING PANIC HARDWARE & SIGNAGE.
- FIRE EXTINGUISHER SHALL BE WALL MOUNTED AS REQUIRED BY CODE. FIRE EXTINGUISHERS SHALL BE A TYPE AND SIZE AS REQUIRED BY STATE AND LOCAL REQUIREMENTS.
- PLUMBING SYSTEMS SHALL BE DESIGNED AND INSTALLED BY A LICENSED PLUMBING PROFESSIONAL.
- ALL ELECTRICAL SHOWN IS BASED ON RULES OF THUMB. ELECTRICAL SERVICE SHALL BE DESIGNED AND INSTALLED BY A LICENSED ELECTRICAL PROFESSIONAL.
- ALL MECHANICAL SYSTEMS SHALL BE DESIGNED AND INSTALLED BY A LICENSED HVAC PROFESSIONAL.

NOTE: PROVIDE BLOCKING IN WALLS FOR ALL ACCESSORIES

ACCESSORY MOUNTING SCHEDULE (PER ADA GUIDELINES)

PAPER TOWEL DISPENSER	SOAP DISPENSER	TOILET PAPER DISPENSER	TAMPON/SANITARY NAPKIN DISPOSAL	36" GRAB BAR	42" GRAB BAR	16" VERTICAL GRAB BAR	MIRROR
NOTE: IF REACH IS UNRESTRICTED, B.O. DISPENSER CAN BE 4" MAX. A.F.F.				WOMEN'S RESTROOM ONLY			

2 TYP RESTROOM FIXTURE ELEVATIONS
 SCALE 1/4" = 1'-0"



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Mobile, AL

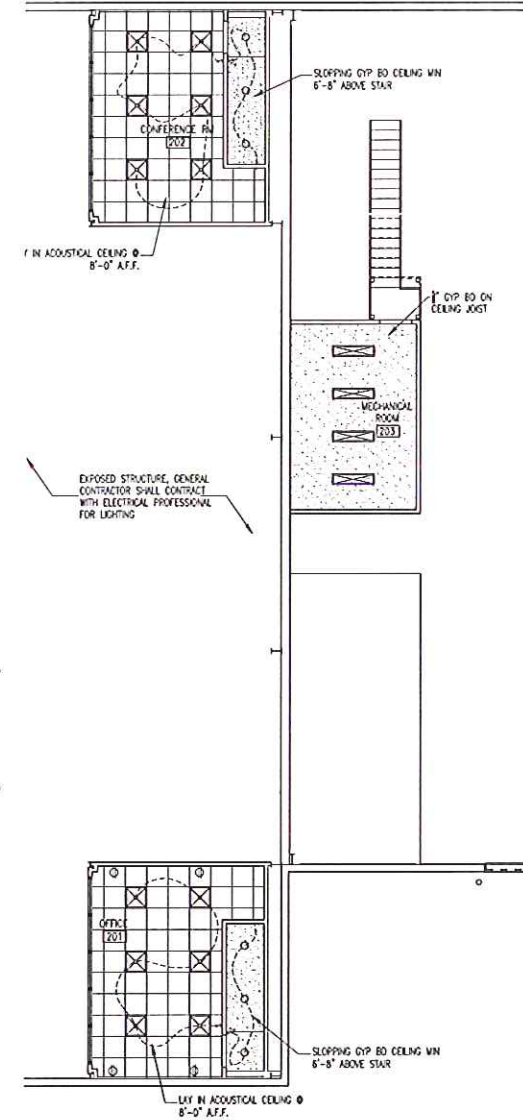
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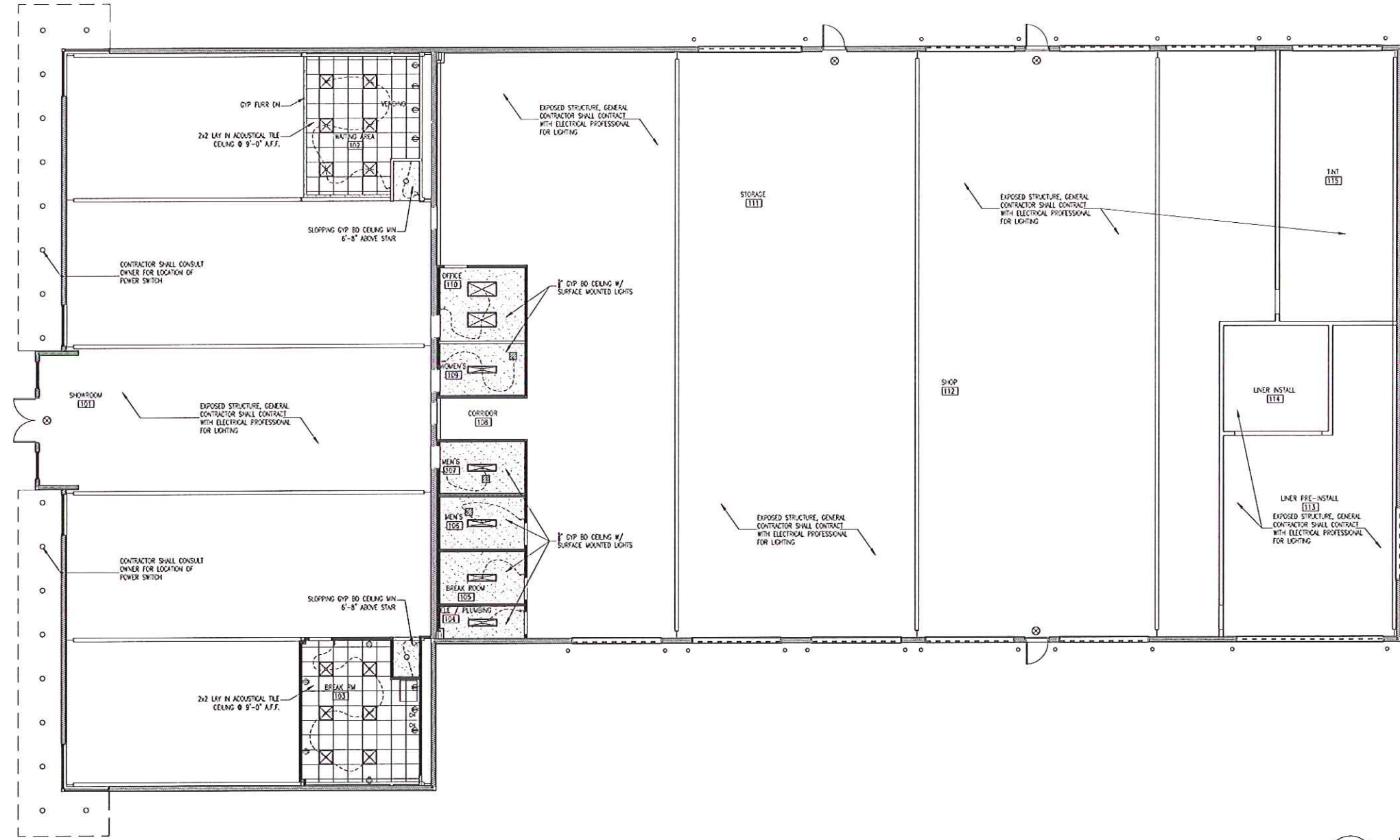
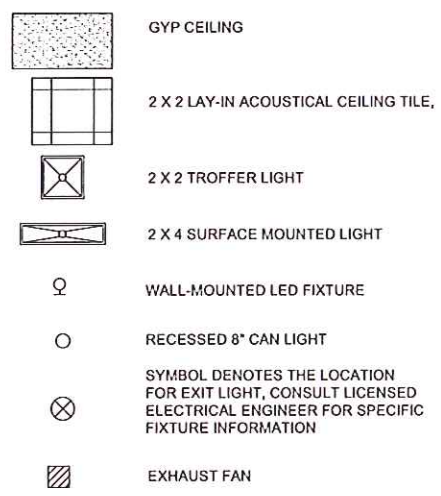
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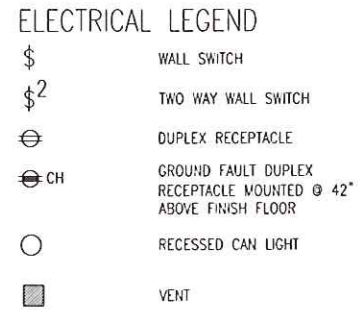
A1.3



2 REFLECTED CEILING PLAN 2ND FLOOR
SCALE 1/4" = 1'-0"



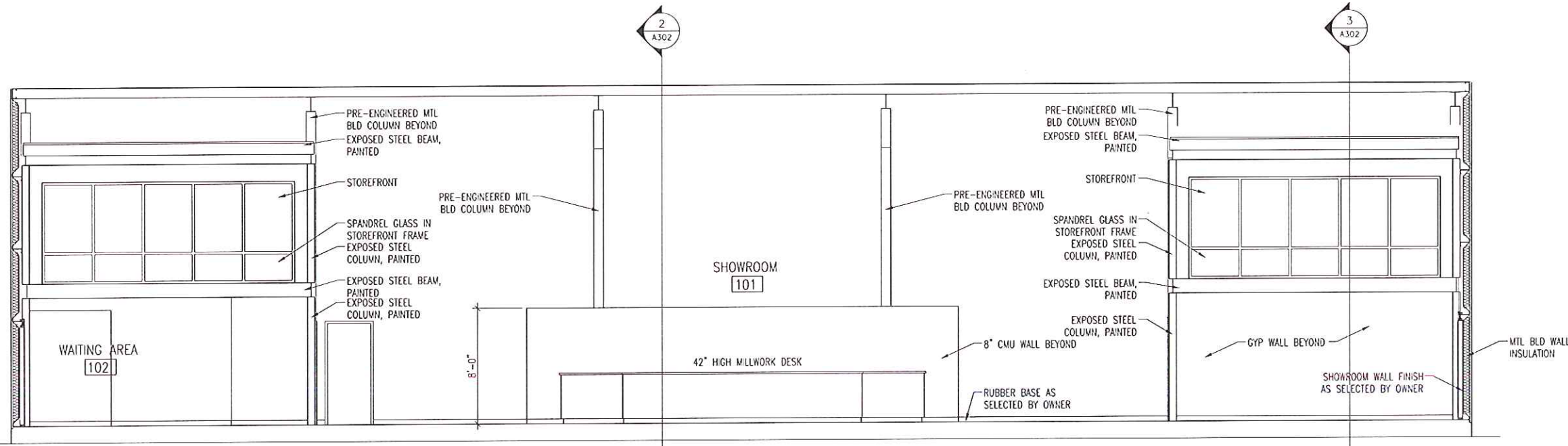
1 REFLECTED CEILING PLAN 1ST FLOOR
SCALE 1/4" = 1'-0"



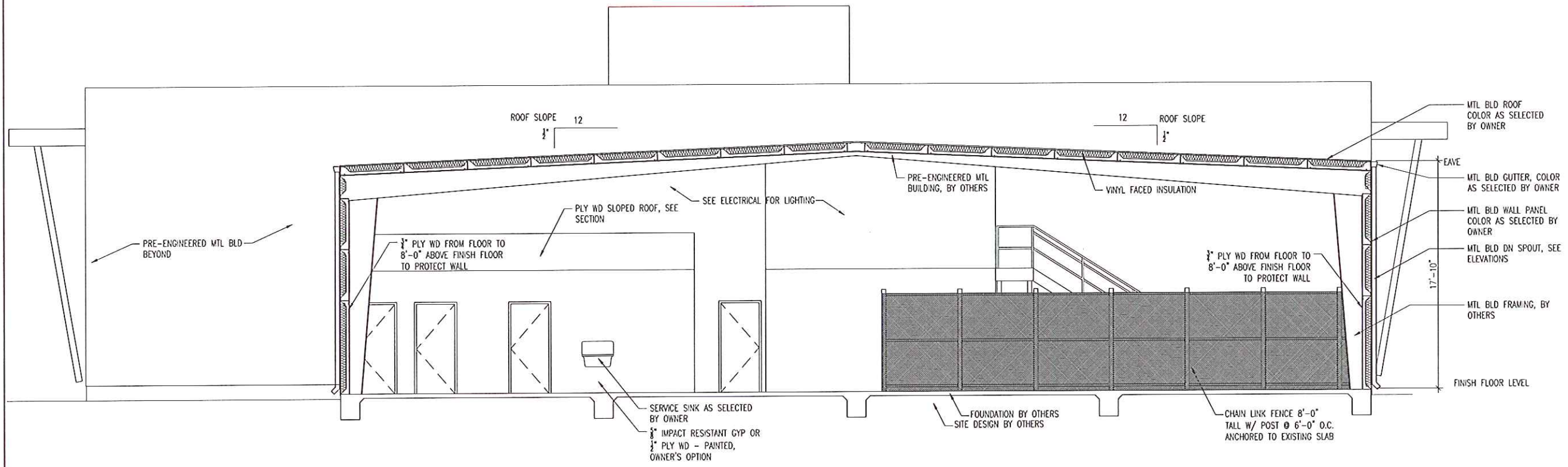
ELEC NOTES

- MIN. WIRE SIZE SHALL AS DETERMINED BY LICENSED ELECTRICAL PROFESSIONAL.
- SERVICE ENTRANCE CONDUCTOR SHALL BE DETERMINED BY LICENSED ELECTRICAL PROFESSIONAL.
- GROUNDING METHOD TO BE DETERMINED BY LICENSED ELECTRICAL PROFESSIONAL.
- UNLESS NOTED OTHERWISE ALL BRANCH CIRCUIT WIRING SHALL BE TYPE NM CABLE ABOVE CEILING, BETWEEN ABOVE CEILING, BETWEEN FLOORS OR IN STUD WALL CAVITIES.
- SERVICE PANEL AS DESIGNED BY LICENSED ELECTRICAL PROFESSIONAL.
- PROVIDE THE MAXIMUM AVAILABLE FAULT CURRENT.
- WIRING BELOW SLAB SHALL BE INSTALLED IN CONDUIT, CONDUIT SHALL BE RIGID GALVANIZED STEEL.
- PVC CONDUIT INSTALLED BELOW GRADE WITH NO HARD COVER SHALL BE PROTECTED WITH 2" MIN. CONCRETE COVERAGE ON ALL SIDES.
- CONNECTIONS TO FURNACES, CONDENSING UNITS AND OTHER MOTORS OR VIBRATING MACHINERY SHALL BE MADE WITH FLEXIBLE CONDUIT (LIQUID-TIGHT IF EXPOSED TO WEATHER) AND STRANDED WIRE, THHN/THAN.
- UNLESS NOTED OTHERWISE ALL LIGHT SWITCHES SHALL BE 44" (48" ACCESSIBLE) A.F.F. RECEPTACLES SHALL BE INSTALLED PER THE FOLLOWING TABLE:

LOCATION	HEIGHT	LOCATION	HEIGHT
REC. WALL OUTLET	15" (18" ACCESSIBLE)	BATH WALL OUTLET	8" ABOVE COUNTER
KITCHEN WALL	14"	CLOSET HTG. UNITS & REFRIG	36"
- ELECTRICAL CONTRACTOR SHALL MARK ALL CIRCUITS FOR ELECTRICAL WIRING SYSTEM AT EACH MAIN DISCONNECT.
- ALL 3-WAY SWITCHES MUST HAVE 14 / 3 WITH GROUND.
- GROUND FAULT CIRCUIT INTERRUPTER SHALL BE INSTALLED IN ALL BATHROOMS, GARAGES AND OUTDOOR OUTLETS.
- GROUND FAULT RECEPTORS IN KITCHEN SHALL BE CIRCUITED SEPARATELY FROM ALL OTHER GFCI OUTLETS.
- CONSULT LICENSED ELECTRICAL PROFESSIONAL & OWNER FOR SPECIFIC LIGHT FIXTURES



1 BUILDING SECTION
SCALE 1/4" = 1'-0"



2 BUILDING SECTION
SCALE 1/4" = 1'-0"

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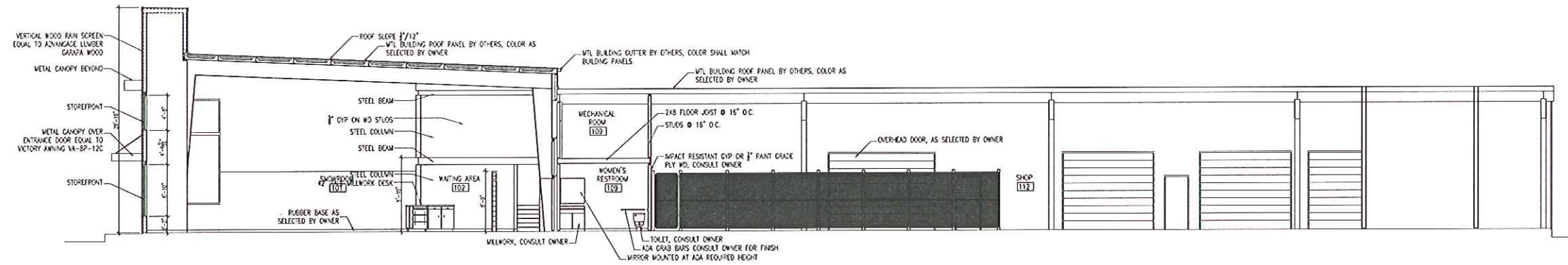
PROJECT
Ricks Pro Truck
5340 Hall's Mill Rd
Mobile, AL

REVISIONS

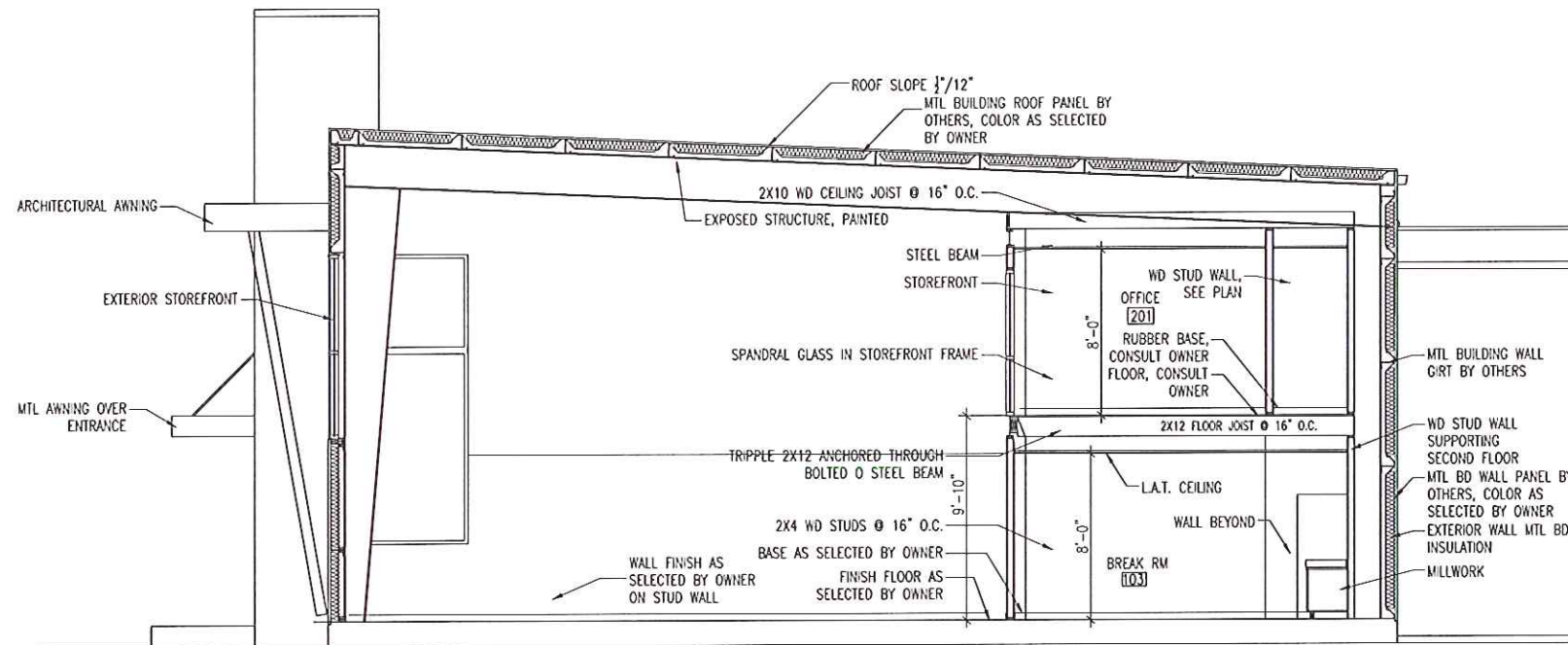
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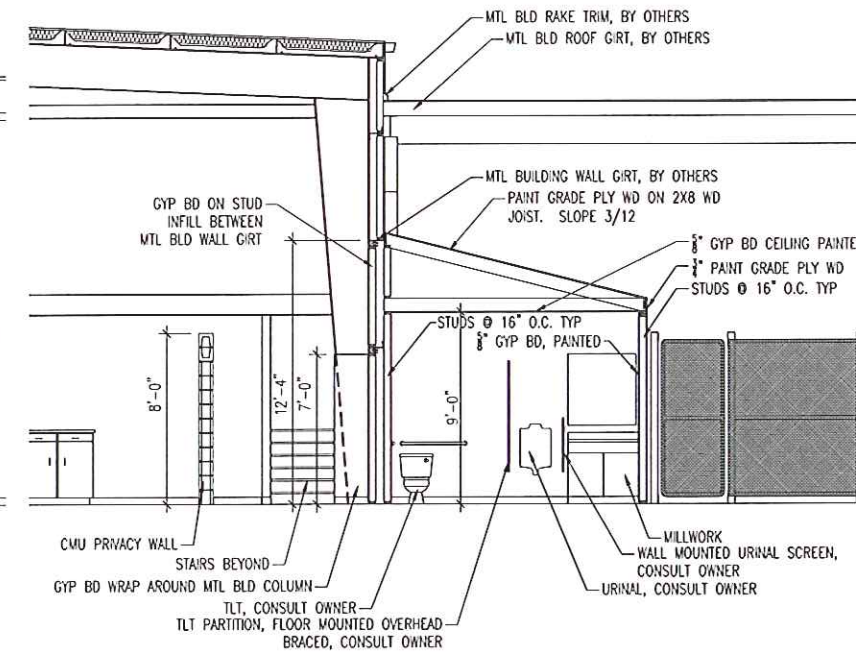
SHEET NO.
A3.1



1 BUILDING SECTION
SCALE 1/8" = 1'-0"



2 BUILDING SECTION
SCALE 1/4" = 1'-0"



3 BUILDING SECTION
SCALE 1/4" = 1'-0"

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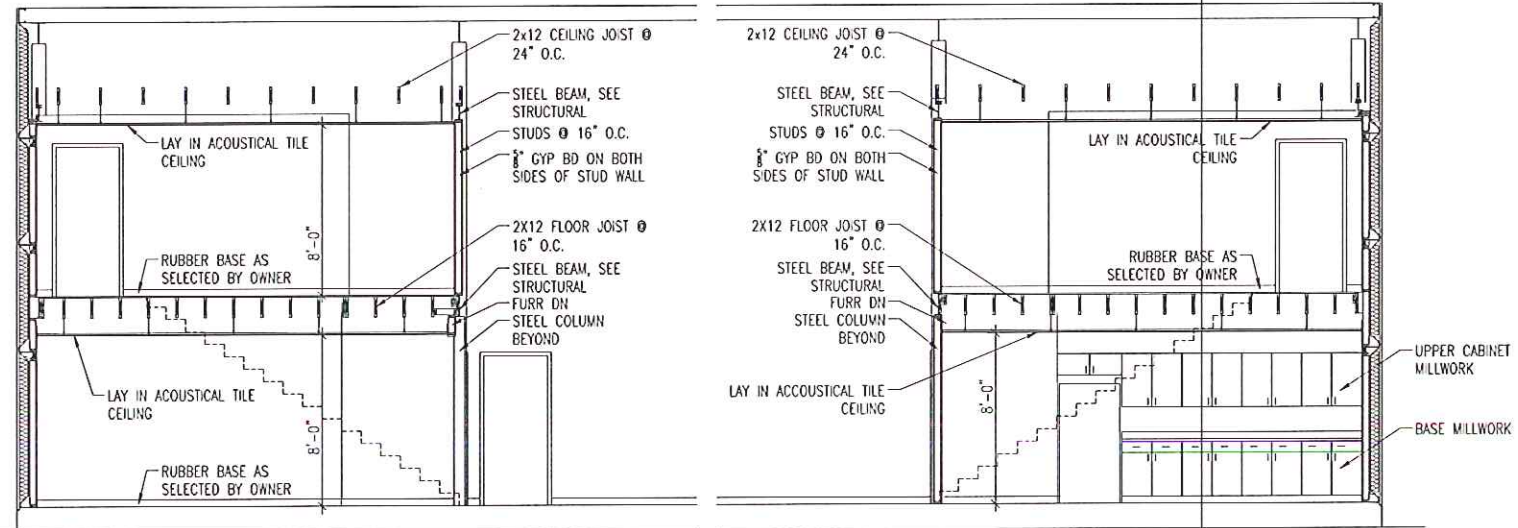
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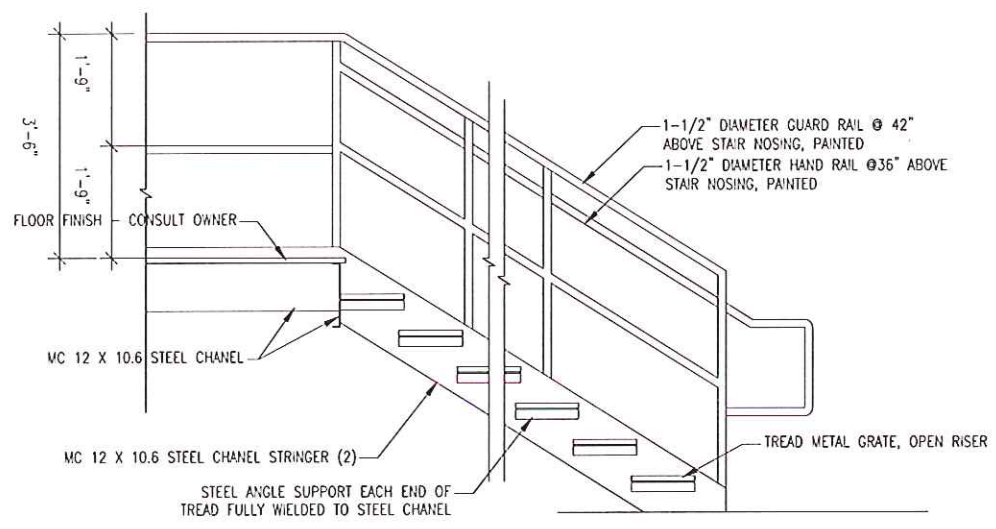
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SHEET NO.
A3.3

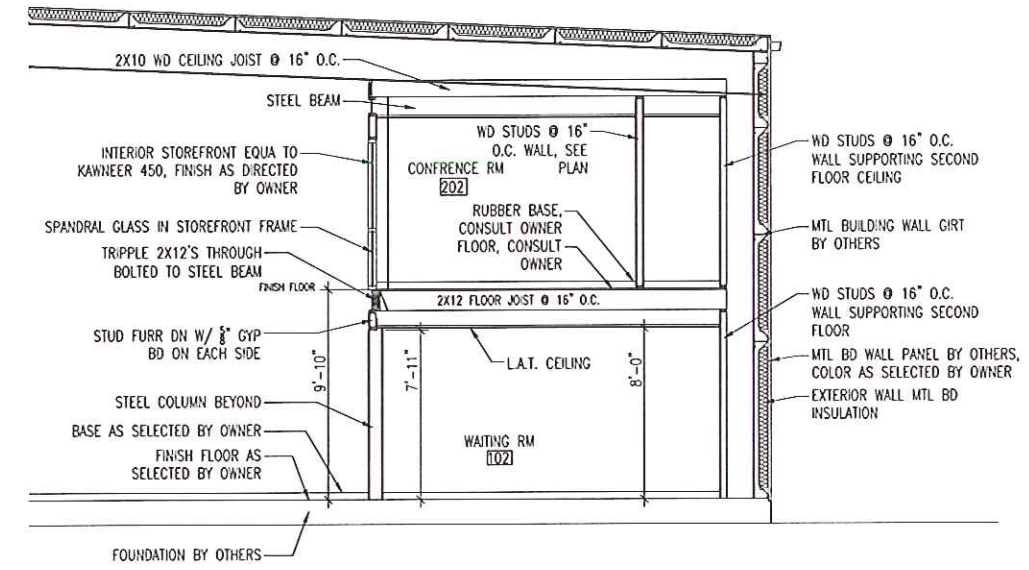
3
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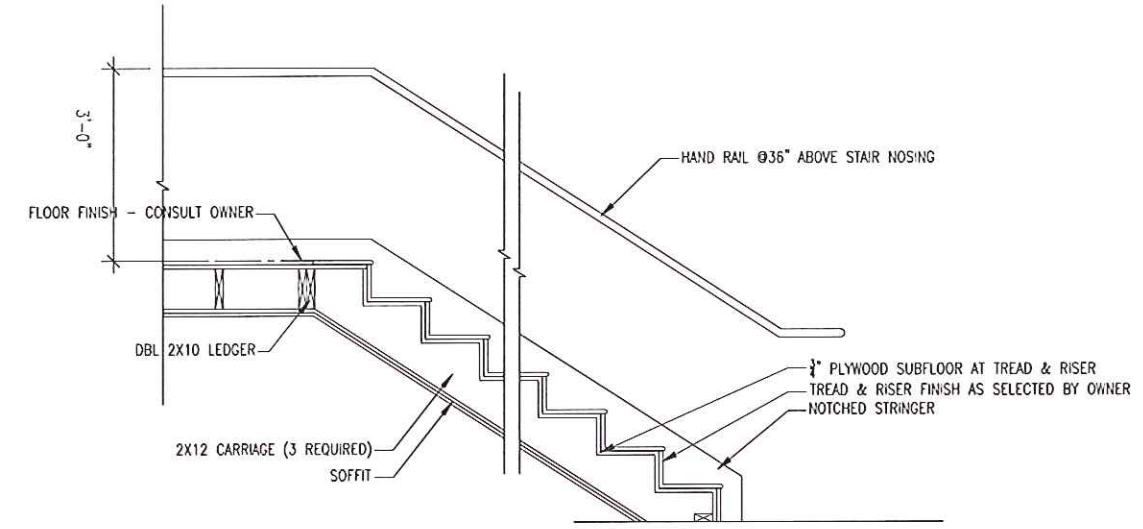
1 BUILDING SECTION
SCALE 1/4" = 1'-0"



3 MECHANICAL ROOM ACCESS STAIR SECTION
SCALE 3/4" = 1'-0"



2 BUILDING SECTION
SCALE 1/4" = 1'-0"



4 INTERIOR STAIR SECTION
SCALE 3/4" = 1'-0"

NOTE: TREADS & RISER OF STAIRS SHALL BE SO PROPORTIONED THAT THE SUM OF TWO RISERS & A TREAD, EXCLUSIVE OF PROJECTION OF NOSING, IS NOT LESS THAN 24" NOR MORE THAN 25".

HEIGHT OF RISER MAY BE INCREASED TO 8" TO REDUCE NUMBER OF RISERS, CONSULT OWNER. TREADS EXCLUSIVE OF NOSING SHALL BE NOT LESS THAN 11" DEEP.

NOTE: TREADS & RISER OF STAIRS SHALL BE SO PROPORTIONED THAT THE SUM OF TWO RISERS & A TREAD, EXCLUSIVE OF PROJECTION OF NOSING, IS NOT LESS THAN 24" NOR MORE THAN 25".

HEIGHT OF RISER SHALL NOT EXCEED 7". TREADS EXCLUSIVE OF NOSING SHALL BE NOT LESS THAN 11" DEEP.



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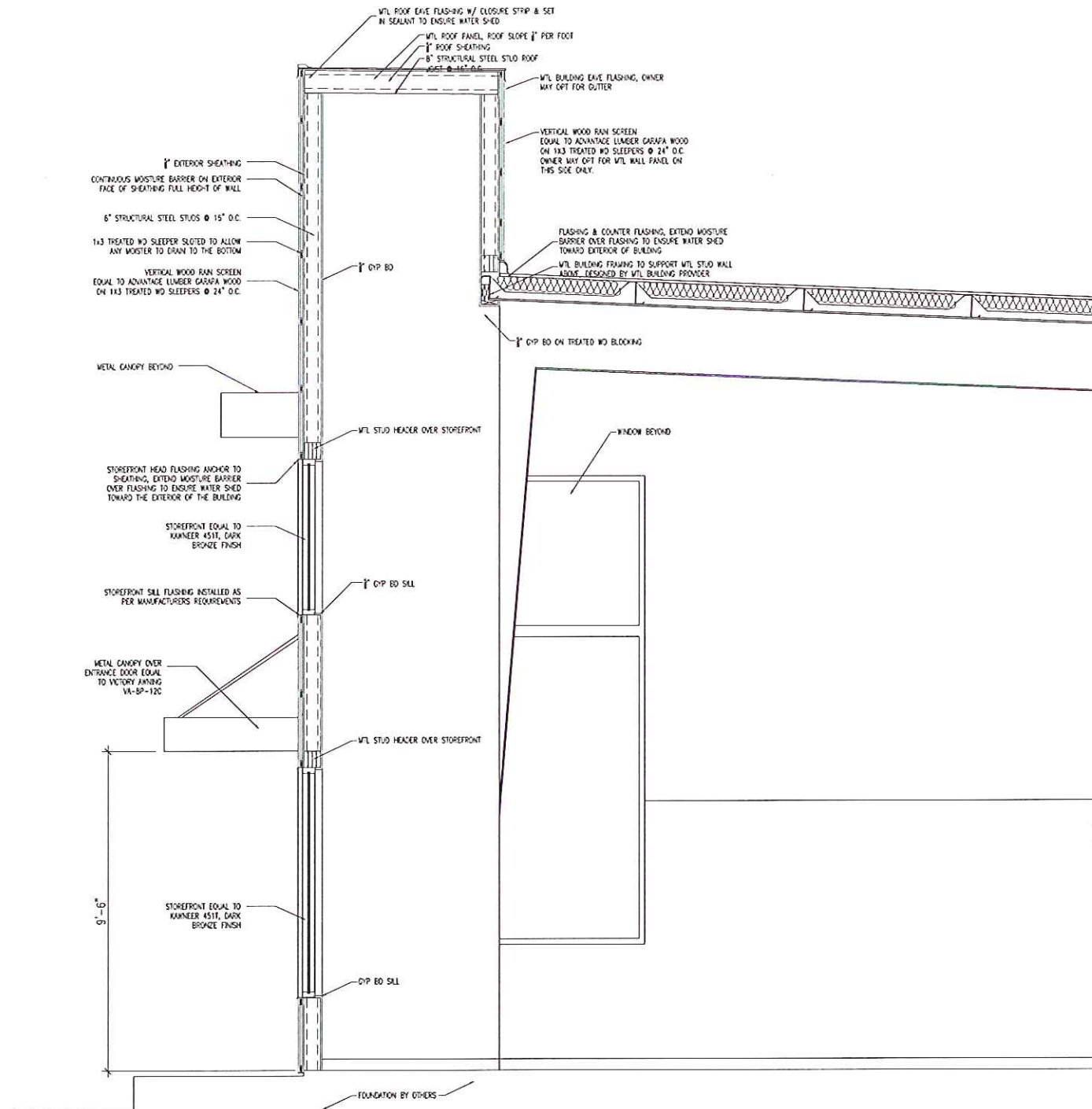
PROJECT
Ricks Pro Truck
5340 Hall's Mill Rd
Mobile, AL

REVISIONS

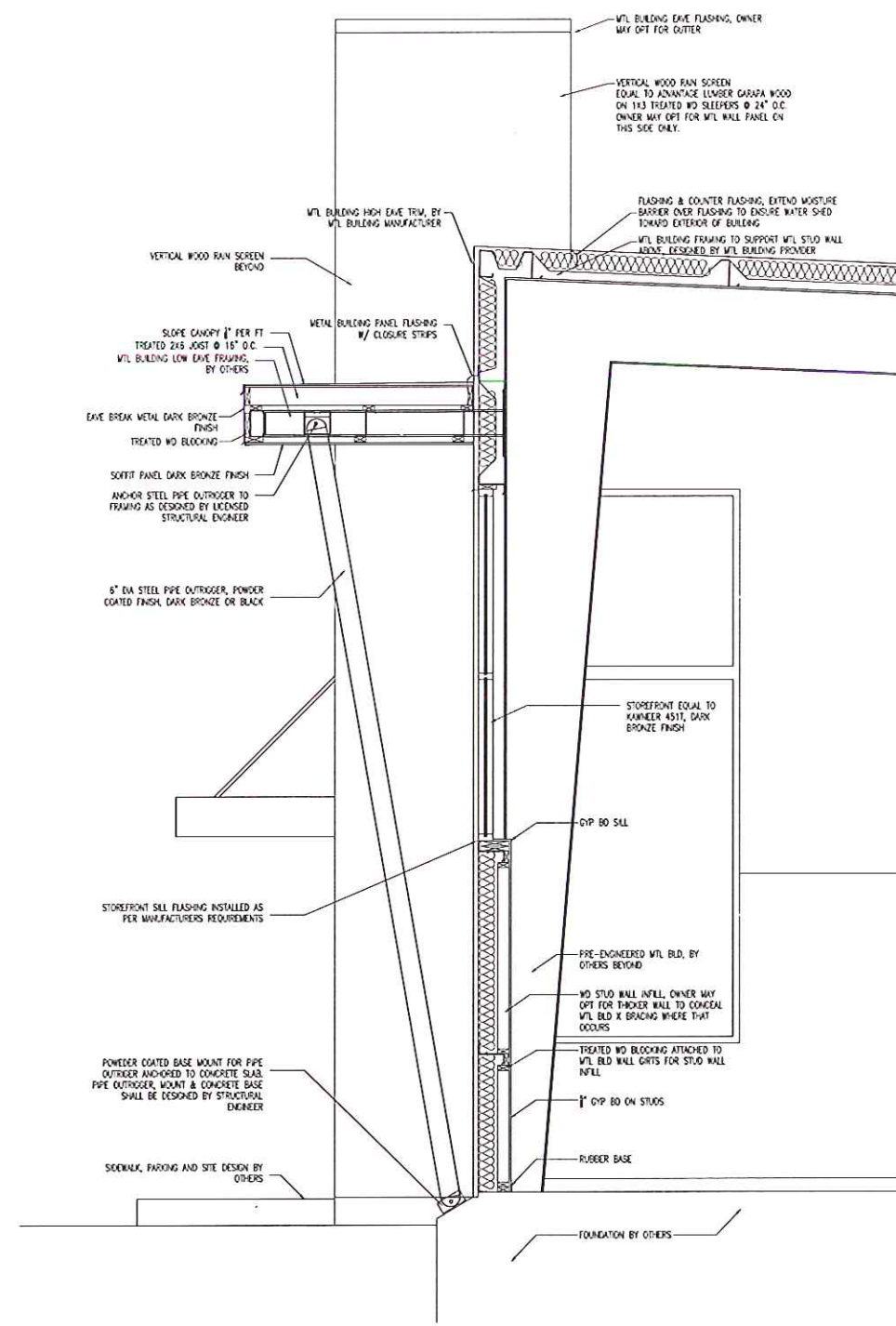
DATE 09-27-2017
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CHECKED BY SB

SHEET TITLE

SHEET NO.
A3.4



1 WALL SECTION
SCALE 1/2" = 1'-0"



2 WALL SECTION
SCALE 1/2" = 1'-0"

L SCOTT
BOOTH
ARCHITECT
144 MACKEY DRIVE
MADISON, MISSISSIPPI
PHONE (601) 613-2138



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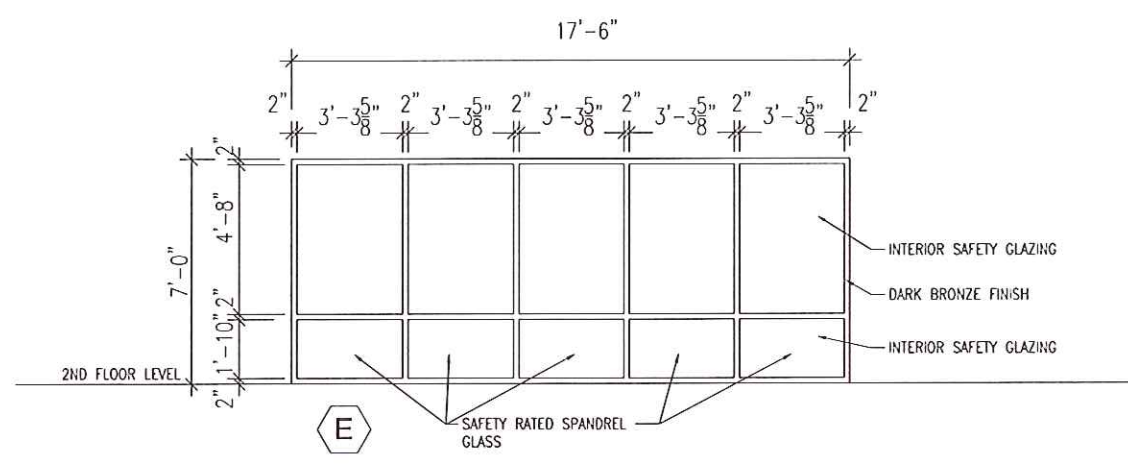
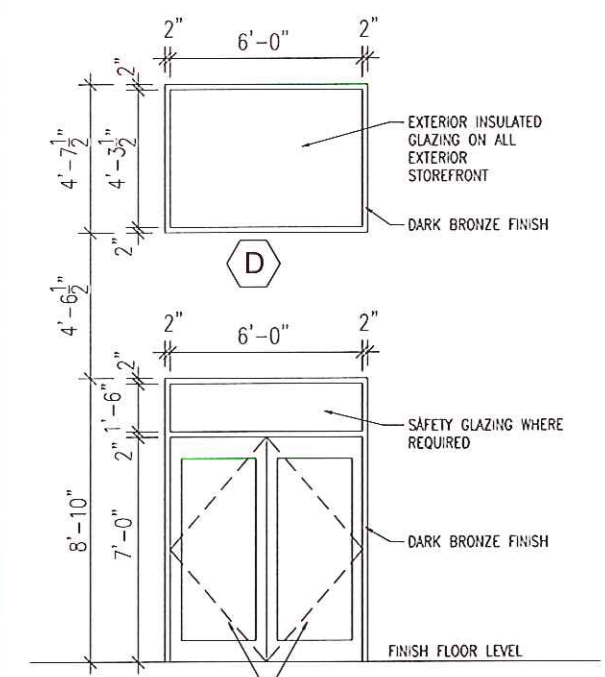
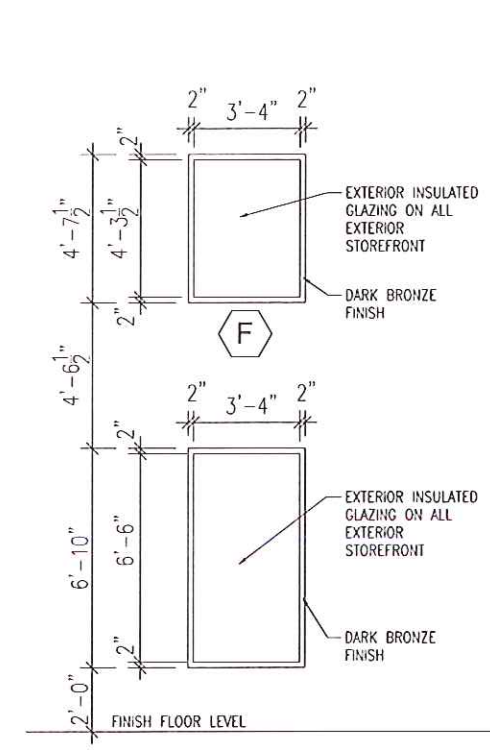
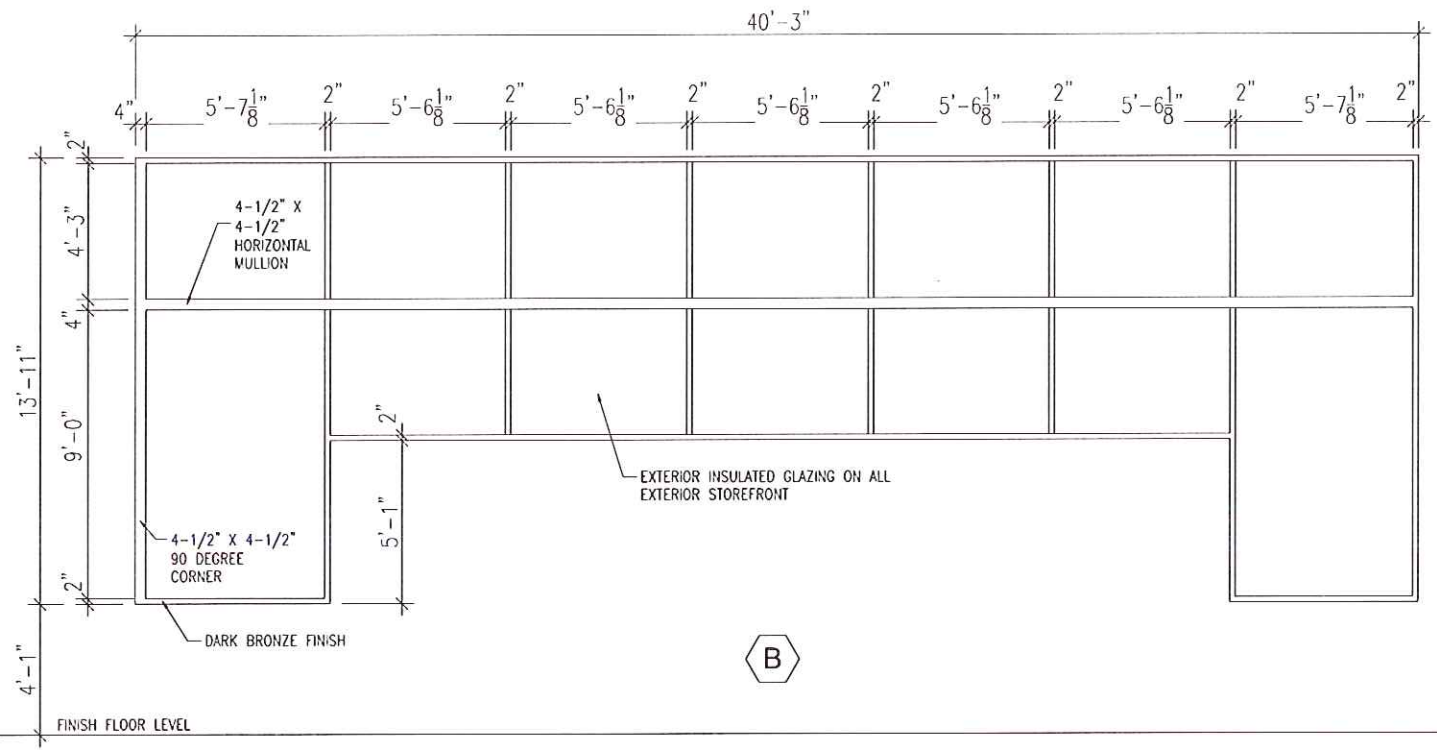
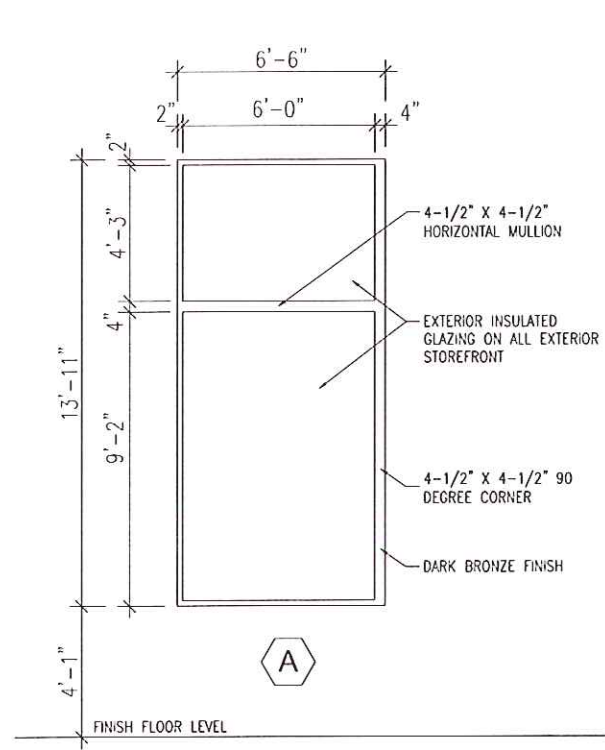
PROJECT
Ricks Pro Truck
5340 Hall's Mill Rd
Mobile, AL

REVISIONS

DATE 09-27-2017
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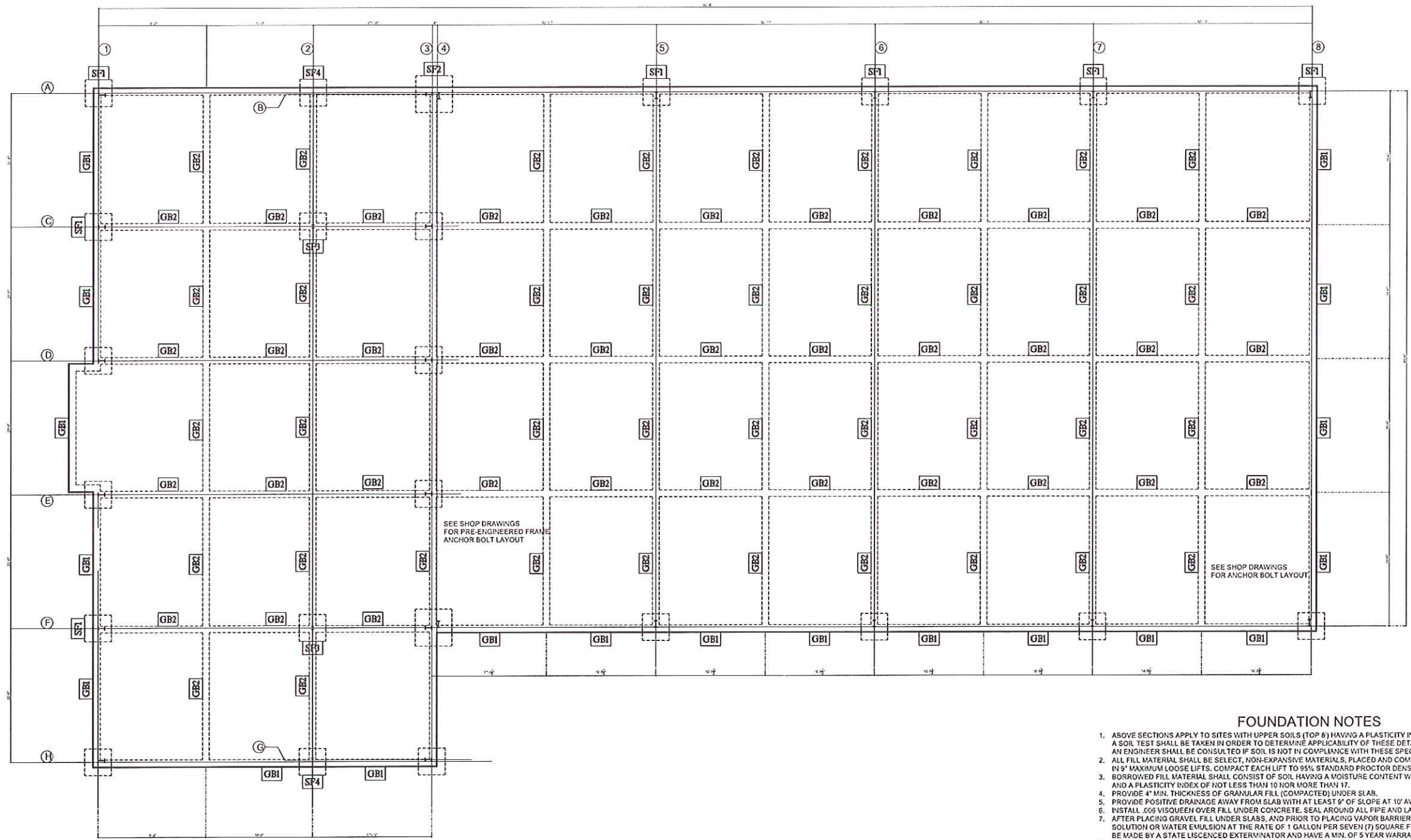
SHEET TITLE

SHEET NO.
A4.1



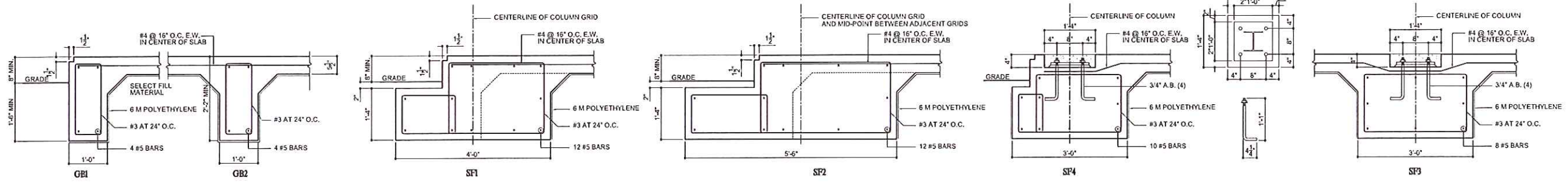
1 Exterior Window Elevations
SCALE 3/8" = 1'-0"

2 Interior Window Elevations
SCALE 3/8" = 1'-0"



FOUNDATION NOTES

1. ABOVE SECTIONS APPLY TO SITES WITH UPPER SOILS (TOP 8") HAVING A PLASTICITY INDEX UP TO 24. A SOIL TEST SHALL BE TAKEN IN ORDER TO DETERMINE APPLICABILITY OF THESE DETAILS. AN ENGINEER SHALL BE CONSULTED IF SOIL IS NOT IN COMPLIANCE WITH THESE SPECIFICATIONS.
2. ALL FILL MATERIAL SHALL BE SELECT, NON-EXPANSIVE MATERIALS, PLACED AND COMPACTED IN 9" MAXIMUM LOOSE LIFTS, COMPACT EACH LIFT TO 95% STANDARD PROCTOR DENSITY.
3. BORROWED FILL MATERIAL SHALL CONSIST OF SOIL HAVING A MOISTURE CONTENT WITHIN 4% OF OPTIMUM AND A PLASTICITY INDEX OF NOT LESS THAN 10 NOR MORE THAN 17.
4. PROVIDE 4" MIN. THICKNESS OF GRANULAR FILL (COMPACTED) UNDER SLABS.
5. PROVIDE POSITIVE DRAINAGE AWAY FROM SLAB WITH AT LEAST 9" OF SLOPE AT 10' AWAY FROM FOUNDATION.
6. INSTALL .005 VISQUEEN OVER FILL UNDER CONCRETE. SEAL AROUND ALL PIPE AND LAP ALL JOINTS A MIN. OF 12".
7. AFTER PLACING GRAVEL FILL UNDER SLABS, AND PRIOR TO PLACING VAPOR BARRIER, APPLY 0.5% DIELDRIN IN OIL SOLUTION OR WATER EMULSION AT THE RATE OF 1 GALLON PER SEVEN (7) SQUARE FEET, SUCH APPLICATION SHALL BE MADE BY A STATE LICENSED EXTERMINATOR AND HAVE A MIN. OF 5 YEAR WARRANTY.
8. ALL CONCRETE SHALL CONFORM TO CURRENT ACI SPECIFICATIONS AND SHALL BE REGULAR SAND AND GRAVEL WITH A MINIMUM OF 3000 P.S.I. IN 28 DAYS.
9. PROVIDE NECESSARY ACCESSORIES TO HOLD REINFORCING BARS IN THE PROPER POSITION.
10. #5 BARS AND SMALLER SHALL BE DEFORMED GRADE 40, #6 AND GREATER SHALL BE GRADE 60.
11. LAP #4 BARS 20" MIN. AT SPLICE. PROVIDE 4 #4 CORNER BARS (20" X 20") AT CORNERS.



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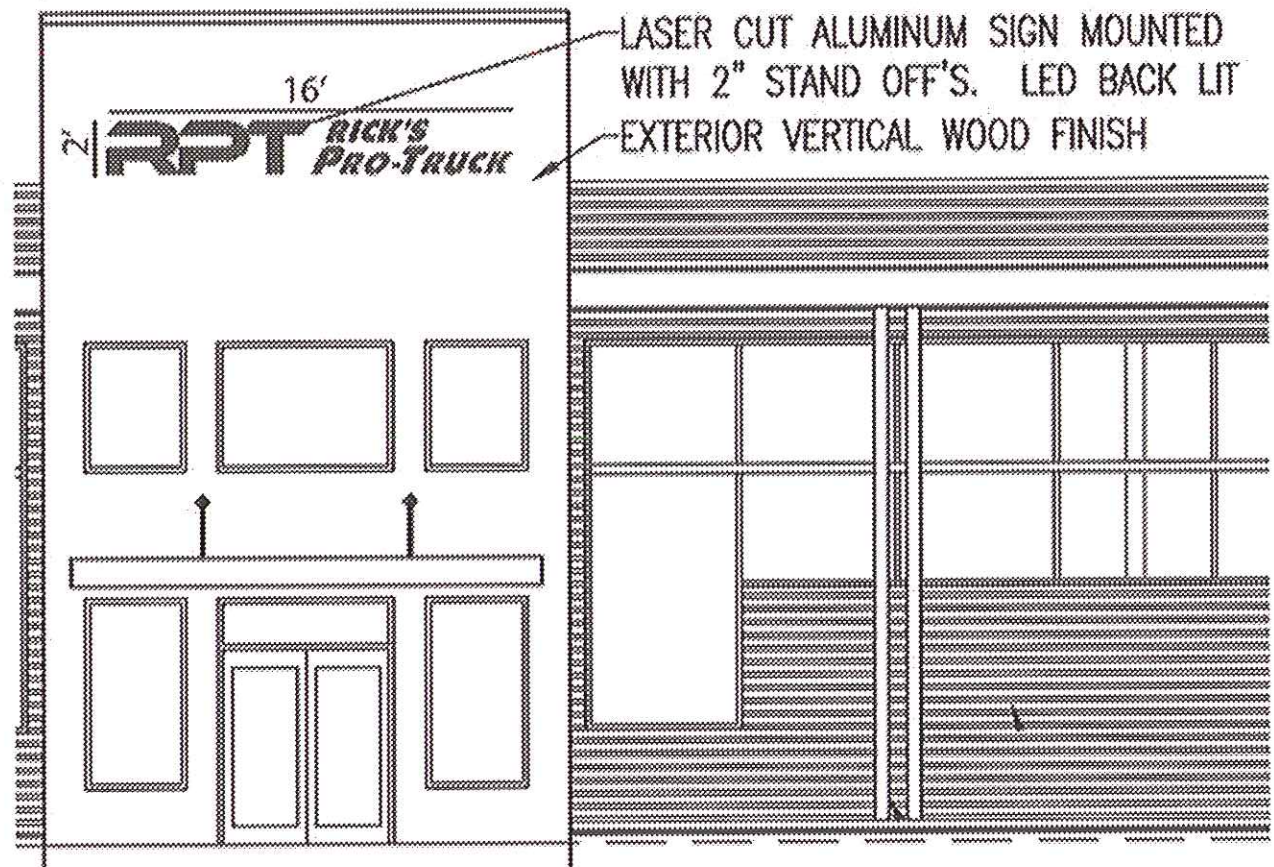
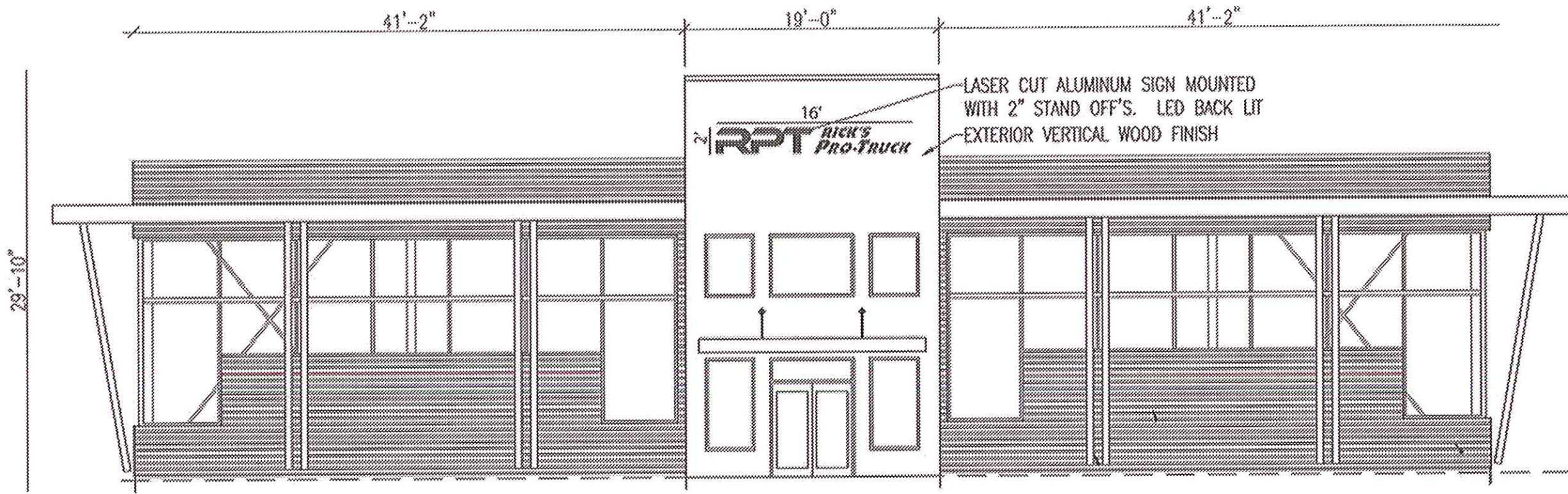
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Rick's Pro Truck

Foundation Plan

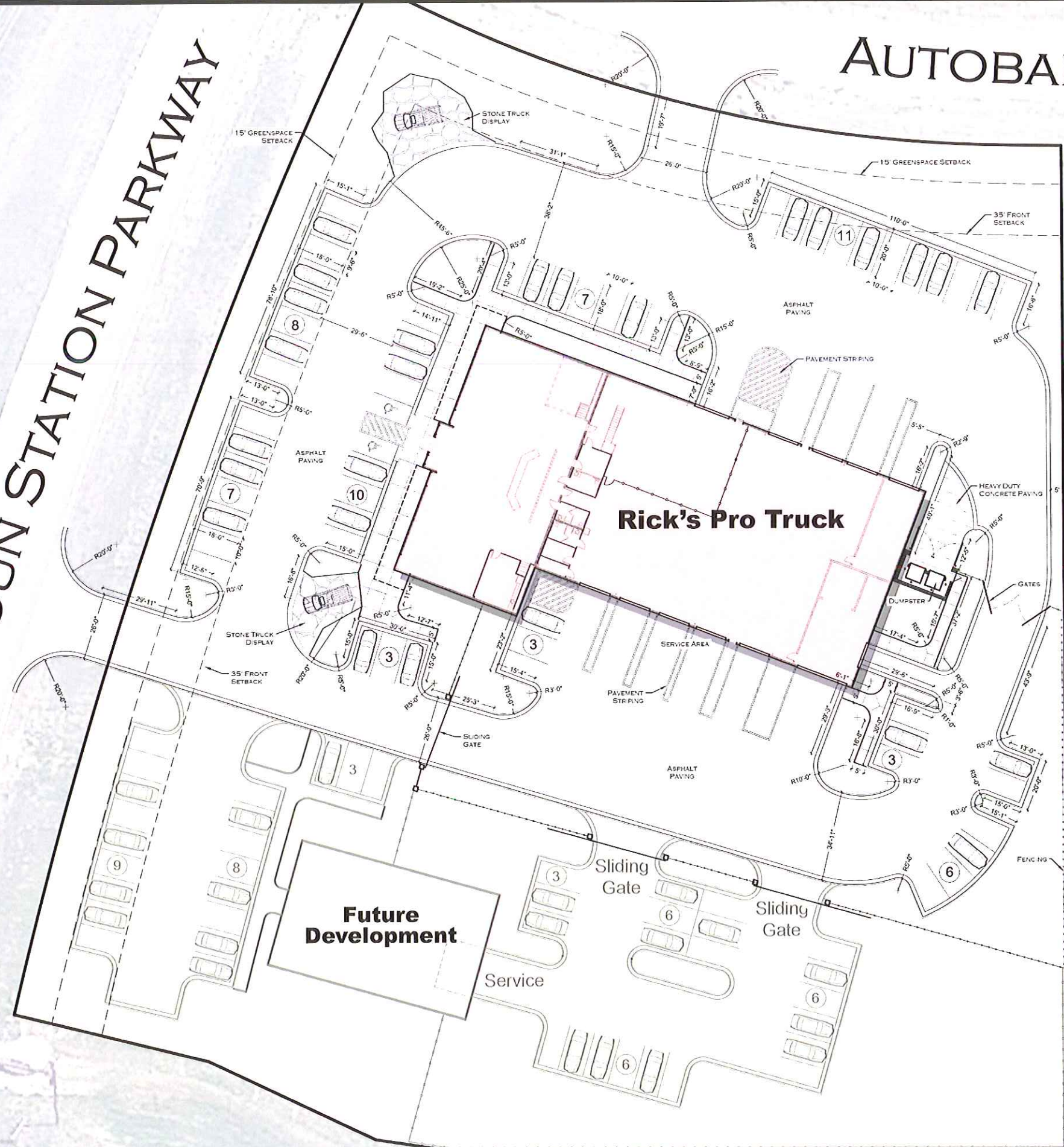
Project number 0911
Date 09-27-2017
Drawn by UP
Checked by UP

S1.1
Scale 1/8" = 1'-0"

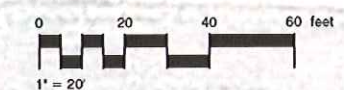


CALHOUN STATION PARKWAY

AUTOBAHN LOOP



NORTH



REVISIONS

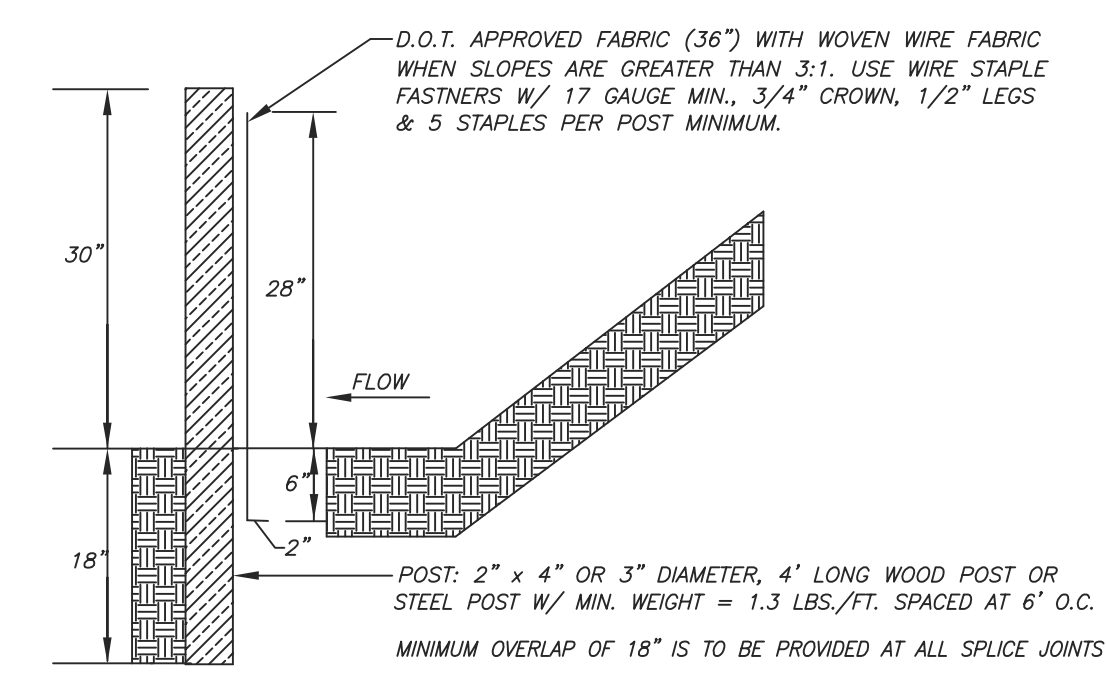
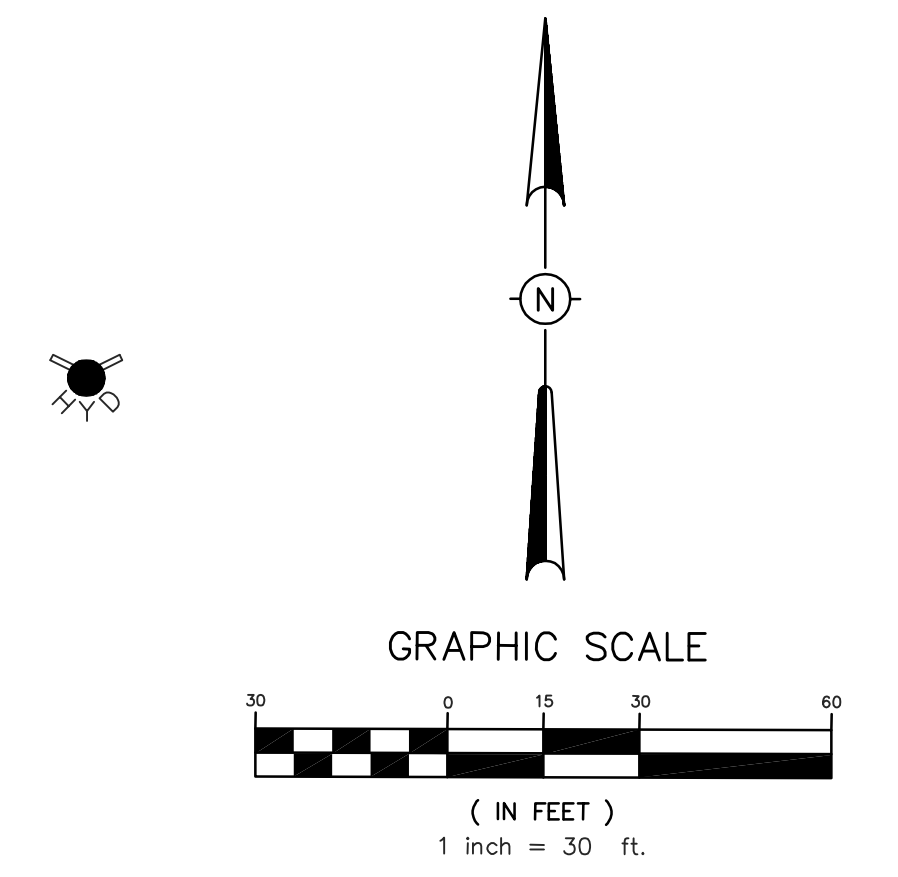
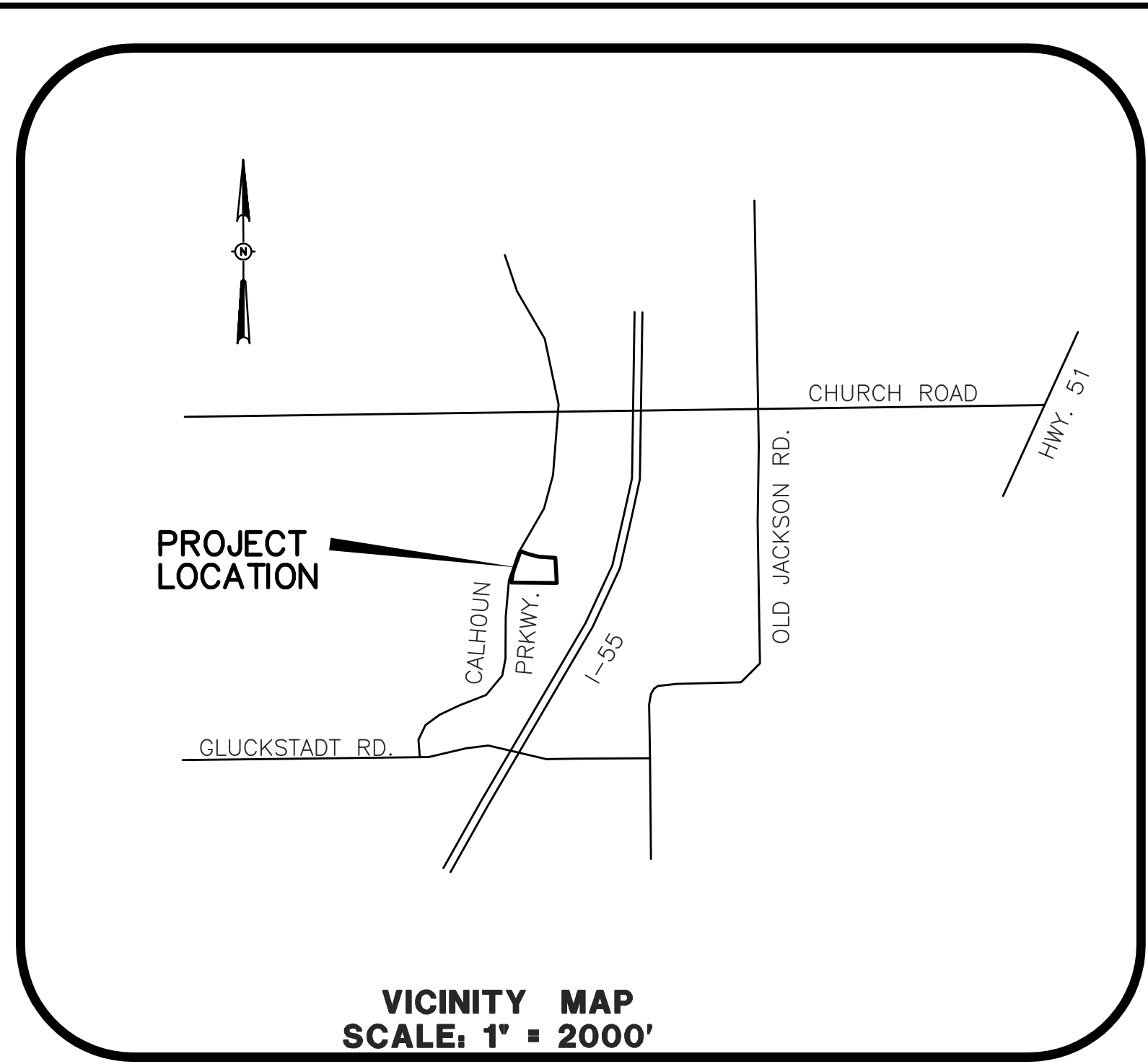
Conceptual Site Plan
RICK'S PRO TRUCK
 Madison County, Mississippi

DATE: 11/29/17
 DRAWN: AMC
 CHECKED:



McCRORY & ASSOCIATES
 land planning consultants

P.O. BOX 2425
 MADISON, MISSISSIPPI 39184
 601-964-4771 (FLN)
 WWW.MCCRORYDESIGNS.COM



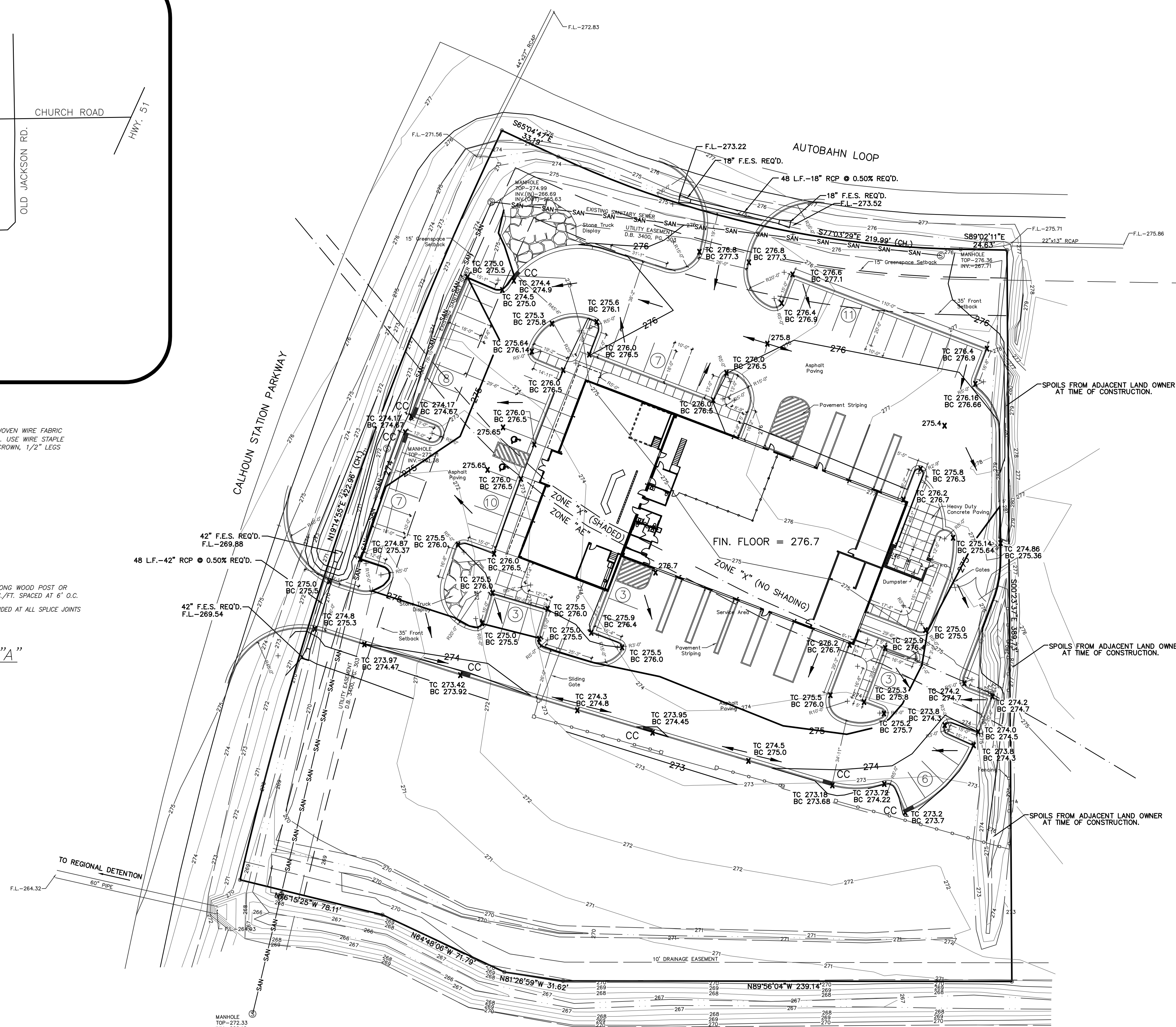
SILT FENCE - TYPE "A"

PLANNED EROSION, SEDIMENT AND STORMWATER CONTROL PRACTICES

- LAND GRADING**
EXCESS EXCAVATION FROM THE SITE WILL BE PLACED ON THE SITES LOWEST ELEVATION. ALL FILL MATERIALS WILL BE COMPACTED AND SLOPES WILL NOT EXCEED 3:1. ALL AREAS WILL RECEIVE SEEDING FOR STABILIZATION OF THE FILL MATERIAL UNTIL PERMANENT VEGETATION IS ESTABLISHED AFTER COMPLETED CONSTRUCTION.
- PERMANENT SEEDING**
ALL DISTURBED AREAS WILL BE PERMANENTLY SEEDDED AND MULCHED ONCE FINAL GRADE IS ESTABLISHED. THE LAND GRADING AREAS PREVIOUSLY MENTIONED WILL RECEIVE TEMPORARY SEEDING AS STATED.

MAINTENANCE PLAN

- SHORT TERM**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
 - ALL SEEDDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO MAINTAIN A DENSE VEGETATIVE COVER.
- LONG TERM**
- ALL VEGETATED AREAS WILL BE MAINTAINED IN ADEQUATE CONDITION TO PROVIDE PROPER GROUND COVER.
 - AREAS WHERE VEGETATION IS LOST WILL BE FERTILIZED, SEEDDED AND MAINTAINED AS NECESSARY TO RESTORE PROPER GROUND COVER.
 - STRUCTURAL MEASURES WILL BE EXAMINED AT LEAST ANNUALLY AND MAINTENANCE PERFORMED AS NEEDED.



LEGEND

EXISTING STORM DRAIN LINE	SS
EXISTING 8" SEWER MAIN	SS
EXISTING SEWER MANHOLE	⊙
EXISTING FIRE HYDRANT	⊗
TC = TOE CURB	
BC = BACK OF CURB	
CC = 5' CURB CUT	

- NOTES:**
- HANDICAP SPACES SHALL MEET A.D.A. REQUIREMENTS. A MAXIMUM SLOPE OF 2% IN ANY DIRECTION FOR HANDICAP SPACES AND ACCESS AREAS.
 - HANDICAP RAMPS SHALL MEET A.D.A. REQUIREMENTS. A MAXIMUM LONGITUDINAL SLOPE OF 1:12 (8.33%), A MAXIMUM CROSS SLOPE OF 1:50 (2.00%), PROVIDE DETECTIBLE WARNINGS ON PAVEMENT
 - ALL SUBGRADE SHALL BE COMPACTED TO 98% SHARED PROCTOR. GEOTECHNICAL RECOMMENDATION FOR PAVEMENT DESIGN
 - THIS PROPERTY LIES WITHIN THE LIMITS ESTABLISHED FOR ZONES "AE" "X" (SHADED AND NO SHADING) ACCORDING TO FIRM MAP NUMBER 28089C0415 F EFFECTIVE MARCH 17, 2010.
 - SILT FENCING SHALL BE INSTALLED AROUND SITE TO PREVENT SEDIMENT FROM LEAVING SITE.
 - SITE DRAINS TO THE REGIONAL DETENTION DESIGNED BY ENGINEERING SERVICE.

DRAWING NO.

H D LANG AND ASSOCIATES, INC.
POST OFFICE BOX 16085 JACKSON, MISSISSIPPI 39236
601-362-4886

CLIENT
RICKS PRO TRUCK

LOCATION
SITUATED IN THE SE 1/4 OF THE NW 1/4 OF SECTION 21, T 8 N - R 2 E, MADISON COUNTY, MISSISSIPPI

DATE	REVISION	BY

DRAWN BY: D.L.M.
DATE: 6-22-18
SCALE: 1" = 30'
BOOK: PAGE:
PROJECT NO.: 18-048

SHEET